

December 23, 2025

Mr. Anthony Trunzo
2201 Wilton Drive
Wilton Manors, Florida 33305

Re: 2201 Wilton Drive - Trip Generation Memorandum

Dear Tony:

Per your request, Traf Tech Engineering, Inc. prepared a trip generation comparison analysis in connection with a commercial site located at 2201 Wilton Drive in the City of Wilton Manors, Florida. The project site is currently developed with a 3,821 square foot building and a small parking lot with 13 parking spaces. Access to the parking lot is provided from NE 22nd Street. The building is currently occupied by a retail user (South Florida Symphony). The building will be re-purposed to accommodate a pharmacy/medical clinic. The size of the building and parking lot will remain the same (refer to attached proposed pharmacy plans).

The trip generation comparison analysis was conducted using the trip generation equations published in the Institute of Transportation Engineer's (ITE) *Trip Generation Manual (12th Edition)*. The analyses were undertaken for daily, AM peak hour, and PM peak hour conditions. Tables 1 and 2 on the following page document the trip generation associated with the existing and the proposed users. Consistent with a similar pharmacy/medical clinic application (The Flowery) recently approved in the City of Wilton Manors, the proposed pharmacy/medical clinic was treated as a retail use (ITE's LUC 822). Since the existing and proposed uses are retail in nature, no new trips are anticipated by the proposed pharmacy project.

Based on the above, a traffic study is not required since no new trips are anticipated by the proposed pharmacy/medical clinic project to be located at 2201 Wilton Drive.

Sincerely,

TRAF TECH ENGINEERING, INC.

Joaquin E. Vargas, P.E.
Senior Transportation Engineer

TABLE 1 Trip Generation Summary (Existing) 2201 Wilton Drive								
Land Use	Size	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total Trips	Inbound	Outbound	Total Trips	Inbound	Outbound
Retail <40k (LUC 822)	3,821 sf	208	15	8	7	24	12	12
Driveway Trips		208	15	8	7	24	12	12

Source: ITE Trip Generation Manual (12th Edition)

TABLE 2 Trip Generation Summary (Proposed) 2201 Wilton Drive								
Land Use	Size	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total Trips	Inbound	Outbound	Total Trips	Inbound	Outbound
Retail <40k (LUC 822)	3,821 sf	208	15	8	7	24	12	12
Driveway Trips		208	15	8	7	24	12	12

Source: ITE Trip Generation Manual (12th Edition)

Difference	Daily Trips	AM Peak Hour			PM Peak Hour		
		Total Trips	Inbound	Outbound	Total Trips	Inbound	Outbound
Proposed - Existing	0	0	0	0	0	0	0

ITE Land Use Code 822 Retail (<40k)

Daily Trips: T = 54.45 (X), X = 1,000 square feet

AM Peak: T = 3.93 (X) (55% inbound and 45% outbound), X = 1,000 square feet

ATTACHMENT A

Site Plan for 2201 Wilton Drive

- NEW PHARMACY -

TENANT INTERIOR BUILDOUT

WILTON MANORS, FLORIDA

GENERAL NOTES

2023 FLORIDA BUILDING CODE: OCCUPANCY IS GROUP B BUSINESS, TYPE OF CONSTRUCTION = TYPE IIB (NON-SPRINKLERED)

DIVISION 1 - GENERAL REQUIREMENTS

- CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE WORK AS NECESSARY FOR PROPER COMPLETION OF THE PROJECT.
- ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO ANY CONSTRUCTION BY THE CONTRACTOR AND/OR SUBCONTRACTORS. THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL NOTIFY THE ARCHITECT AND OWNER OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION. IF CONTRACTOR AND/OR SUBCONTRACTORS ELECT NOT TO VERIFY DIMENSIONS OR NOT TO NOTIFY THE ARCHITECT AND OWNER, THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL BEAR THE EXPENSE OF THE CORRECTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PRODUCT APPROVAL, DATA SUBMISSION, AND APPROVALS REQUIRED BY THE BUILDING DEPARTMENT.
- CONTRACTOR AND SUBCONTRACTORS SHALL MAINTAIN AND PREPARE AN "AS-BUILT" REDLINE SET OF DRAWINGS. UPON COMPLETION OF THE PROJECT SUCH DRAWINGS SHALL BE ISSUED TO THE OWNER.
- SPECIAL INSPECTIONS ARE REQUIRED BY CERTAIN SECTIONS OF THE FBC. THE BUILDING OFFICIAL MAY REQUIRE THE OWNER TO EMPLOY A SPECIAL INSPECTOR FOR THE INSPECTION OF PILE DRIVING, WINDOWS/DOORS/CURTAIN WALLS ON BUILDINGS OVER TWO FLOORS, OR CONCRETE UNIT MASONRY. THE BUILDING OFFICIAL SHALL REQUIRE SPECIAL INSPECTION FOR: PRECAST CONCRETE UNITS (1927.12.1), ENGINEERED UNIT MASONRY (2122.4), CONNECTIONS (2218.2), AND METAL BUILDING SYSTEMS (2223.11).

DIVISION 2 - SITE WORK

- ALL "EXISTING" INFORMATION ON THE DRAWINGS HAS BEEN OBTAINED BY THE ARCHITECT FROM THE OWNER. SUCH "EXISTING" INFORMATION SHALL BE CONSIDERED AS SHOWN SCHEMATICALLY ONLY, AND SHALL BE FIELD VERIFIED BY ALL CONTRACTORS TO SIZE, LOCATION AND MATERIAL.
- ALL AREAS ADJACENT TO WORK WHICH HAVE BEEN ALTERED AND/OR DAMAGED SHALL BE REPAIRED TO MATCH EXISTING AND/OR FINISH OF NEW WORK.
- ALL DEMOLITION AND REMOVAL OF EXISTING UTILITIES, STRUCTURES, PLANTING MATERIALS, ETC., SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL GOVERNING AUTHORITIES.

DIVISION 6 - WOOD AND PLASTICS

- ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.

DIVISION 8 - DOORS AND WINDOWS

FBC - DOOR OPERATION REQUIREMENTS:
ALL DOORS AND/OR GATES TO COMPLY WITH THE FOLLOWING DOOR OPERATION REQUIREMENTS:

FBC - CHAPTER 10 - 1008.1.9 DOOR OPERATIONS.
EXCEPT AS SPECIFICALLY PERMITTED BY THIS SECTION, EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

1008.1.9.1 HARDWARE. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE BY CHAPTER 11 SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.

1008.1.9.2 HARDWARE HEIGHT. A LATCH OR OTHER FASTENING DEVICE ON A DOOR SHALL BE PROVIDED WITH A RELEASING DEVICE HAVING AN OBVIOUS METHOD OF OPERATION UNDER ALL LIGHTING CONDITIONS. THE RELEASING MECHANISM FOR ANY LATCH SHALL BE LOCATED AT LEAST 34 INCHES (864 MM) AND NOT MORE THAN 48 INCHES (1219 MM) ABOVE THE FINISHED FLOOR. DOORS SHALL BE OPERABLE WITH NOT MORE THAN ONE RELEASING OPERATION.

DIVISION 8 - DOORS AND WINDOWS (CONT.)

FBC 2010, ACCESSIBILITY - CHAPTER 4, SECTION 404.2.7 DOOR AND GATE HARDWARE:
HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH 309.4, (OPERABLE PARTS, OPERATION), OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES (865 MM) MINIMUM AND 48 INCHES (1220 MM) MAXIMUM ABOVE FINISHED FLOOR OR GROUND, WHERE SLIDING DOORS ARE IN THE FULLY OPENED POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.

NFPA CHAPTER 7 MEANS OF EGRESS COMPONENTS

ALL DOORS SHALL COMPLY WITH NFPA 101 CHAPTER 7, SECTION 7.2.
FBC - ALL DOORS TO BE EQUIPPED WITH HANDICAPPED OPERABLE HANDLES, HARDWARE SHALL HAVE DOOR RELEASING MECHANISMS FOR ANY LATCH AND SHALL BE LOCATED AT LEAST 34" AND NOT MORE THAN 48" ABOVE THE FINISHED FLOOR AS PER FBC CHAPTER 10.)

7.2.1.5 LOCKS, LATCHES, AND ALARM DEVICES.

7.2.1.5.1 DOORS LEAVES SHALL BE ARRANGED TO BE OPENED READILY FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED.

7.2.1.5.2 LOCKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE.

DIVISION 9 - FINISHES

TO MEET THE FLORIDA BUILDING CODE (FBC) REQUIREMENTS IN CHAPTER 8, INTERIOR FINISHES, SECTION 803 TABLE 803.5.
CLASS A: FLAME SPREAD 0-25; SMOKE DEVELOPED 0-450
CLASS B: FLAME SPREAD 26-75; SMOKE DEVELOPED 0-450
CLASS C: FLAME SPREAD 76-200; SMOKE DEVELOPED 0-450
GROUP B = CLASS B/A NS - (EXIT ENCLOSURES AND EXIT PASSAGEWAYS)
GROUP B = CLASS C/B NS - (CORRIDORS)
GROUP B = CLASS C/C NS - (ROOMS AND ENCLOSED SPACES)
AND NFPA 101 SECTION 10.2.3 (INTERIOR WALL AND CEILING FINISHES)
INTERIOR FLOOR FINISH TO BE CLASS I OR CLASS II IN ACCORDANCE WITH FBC AND NFPA 101 SECTION 10.2.7.

DIVISION 15 - MECHANICAL

- PLUMBING AND HVAC CONTRACTORS SHALL VERIFY ALL LOCATIONS/SIZES OF THEIR OUTLETS, SUPPLIES AND CHASES AND SHALL BE RESPONSIBLE FOR COORDINATION OF THE SAME.
- HVAC CONTRACTOR SHALL PROVIDE ALL NECESSARY DOCUMENTATION AND PRODUCT SPECIFICATIONS TO OBTAIN A BUILDING PERMIT AND COMPLETE SUCH WORK AS REQUIRED BY THE FBC AND SPECIFICATIONS.
- PLUMBING CONTRACTOR SHALL VERIFY CENTER LINE DIMENSIONS OF ALL FIXTURES THAT HAVE BEEN SPECIFIED BY THE OWNER AND SHALL BE RESPONSIBLE FOR COORDINATION OF THE SAME. MAINTAIN MINIMUM FBC PLUMBING CODE CLEARANCES BETWEEN THE TOILET FIXTURES AND THE ADJACENT WALL, CABINETRY AND/OR PLUMBING FIXTURES.
- PROVIDE SHUT-OFF VALVES AT ALL PLUMBING FIXTURES AS PER FBC SECTION 606.2.
- PROVIDE AIR CHAMBERS AT ALL FIXTURE BRANCHES. WATER CONSUMPTION IN PLUMBING FIXTURES SHALL COMPLY WITH FBC SECTION 604.

DIVISION 16 - ELECTRICAL

- ELECTRICAL CONTRACTOR SHALL VERIFY ALL LOCATIONS/SIZES OF THEIR OUTLETS, SUPPLIES AND CHASES AND SHALL BE RESPONSIBLE FOR COORDINATION OF THE SAME.
- ALL WIRE SIZES BASED ON COPPER.
- ALL SERVICE AND FEEDER WIRING SHALL BE COPPER.

CODE COMPLIANCE DATA

WORK DEPICTED IN THESE DRAWINGS SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING CODES:

- FLORIDA BUILDING CODE, 2023 EDITION
- FLORIDA MECHANICAL CODE, 2023 EDITION
- FLORIDA PLUMBING CODE, 2023 EDITION
- NATIONAL ELECTRICAL CODE, LATEST EDITION
- FLORIDA FIRE PREVENTION CODE, LATEST EDITION
- NFPA 1 AND NFPA 101, LATEST EDITIONS
- NFPA 241, LATEST EDITION (CONSTRUCTION WORK)
- NFPA 10, LATEST EDITION (FIRE EXTINGUISHERS)

SITE AND BUILDING DATA

PROPERTY ADDRESS:
2201 WILTON MANORS DRIVE
WILTON MANORS, FL 33305

PROPERTY I.D. NUMBER:
4942 26 05 1210

ABBREVIATED LEGAL DESCRIPTION:
WILTON MANORS UNIT 1 AMD PLAT 15-1 B PT OF BLK 47 F/P/A LOT 13 & S 62.5 LOT 14 BLK 47.

ZONING:
A & E DISTRICT

OCCUPANCY TYPE:
GROUP B BUSINESS - PHARMACY

TYPE OF CONSTRUCTION:
TYPE IIB (NON-SPRINKLERED)

LOT AREA:
8,514 SQ. FT. (0.195 ACRES)

TENANT SPACE AREA:
1,110 SQ. FT. ±

YEAR BUILT:
1974

ALTERATION LEVEL - CLASSIFICATION OF WORK:
2023 FBC (EXISTING) SECTION 504, ALTERATION - LEVEL 2

PARKING CALCULATIONS:
EXISTING AND UNCHANGED

INDEX OF DRAWINGS

- A-0 COVER SHEET
- A-1 SITE PLAN
- A-2 FLOOR AND LIFE SAFETY PLANS
- A-3 SECTIONS AND DETAILS
- M-1 MECHANICAL PLAN AND DETAILS
- E-1 ELECTRICAL PLANS AND DETAILS
- P-1 PLUMBING PLAN AND DETAILS

SCOPE OF WORK

PROJECT CONSISTS OF TENANT INTERIOR BUILDOUT (1,110 SQ. FT. ±) FOR A NEW PHARMACY IN THE SOUTHERNMOST BAY OF AN EXISTING ONE STORY CBS STRUCTURE LOCATED ON WILTON DRIVE. THIS SPACE IS VACANT AFTER THE PREVIOUS TENANT (SOUTH FLORIDA SYMPHONY) MOVED OUT.

SCOPE OF WORK INCLUDES THE FOLLOWING:
- CONSTRUCTION OF TWO (2) SMALL NEW OFFICES WITH METAL STUD AND DRYWALL PARTITIONS, SUSPENDED LAY-IN CEILINGS, 2' x 2' LIGHT FIXTURES, OUTLETS AND SWITCHES, MECHANICAL DUCT TIE-INS, ETC. EACH OFFICE WILL HAVE ITS OWN HAND SINK.

- CONSTRUCTION OF NEW L-SHAPED CORRIDOR TO CONNECT FRONT LOBBY AREA WITH REAR EXIT.

- ADDITION OF NEW HAND SINK IN RECEPTION/WORK AREA.

- CONSTRUCTION OF NEW COUNTER AREAS WITH NECESSARY CABINETRY, SHELVING, EQUIPMENT AND SUPPLIES TO FACILITATE THE PHARMACY'S NORMAL OPERATIONS.

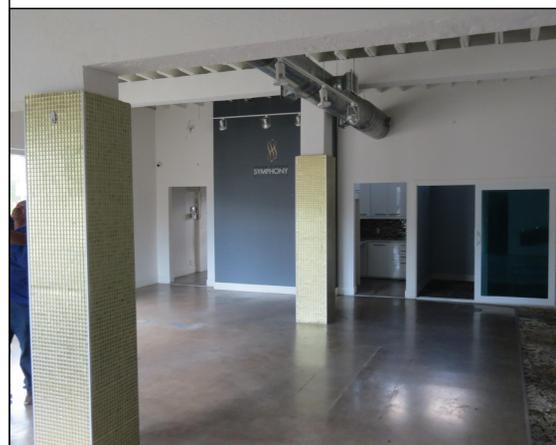
- NEW WALL AND FLOOR FINISHES.

- NEW OUTLETS AND LIGHTING FIXTURES TO ACCOMMODATE AND ENHANCE THE SPACE.

- OTHER MINOR IMPROVEMENTS TO COMPLETE THE BUILDOUT, INCLUDING NEW SIGNAGE, FINISH AND TRIM WORK, ETC.

NOTE: EXISTING EXPOSED CEILINGS, LIGHTING FIXTURES, MECHANICAL DUCTWORK AND GRILLES TO REMAIN AS-IS FOR AREAS NOTED ON PLANS.

TENANT SPACE INTERIOR



TENANT SPACE INTERIOR



STREET VIEW



PROPERTY APPRAISER'S MAP



MICHAEL STEWART
ARCHITECT

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NEW PHARMACY
TENANT INTERIOR BUILDOUT
 2201 Wilton Drive
 Wilton Manors, FL 33305

Revisions

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Seal

Michael Stewart
Architect
AR 93999

Date: _____

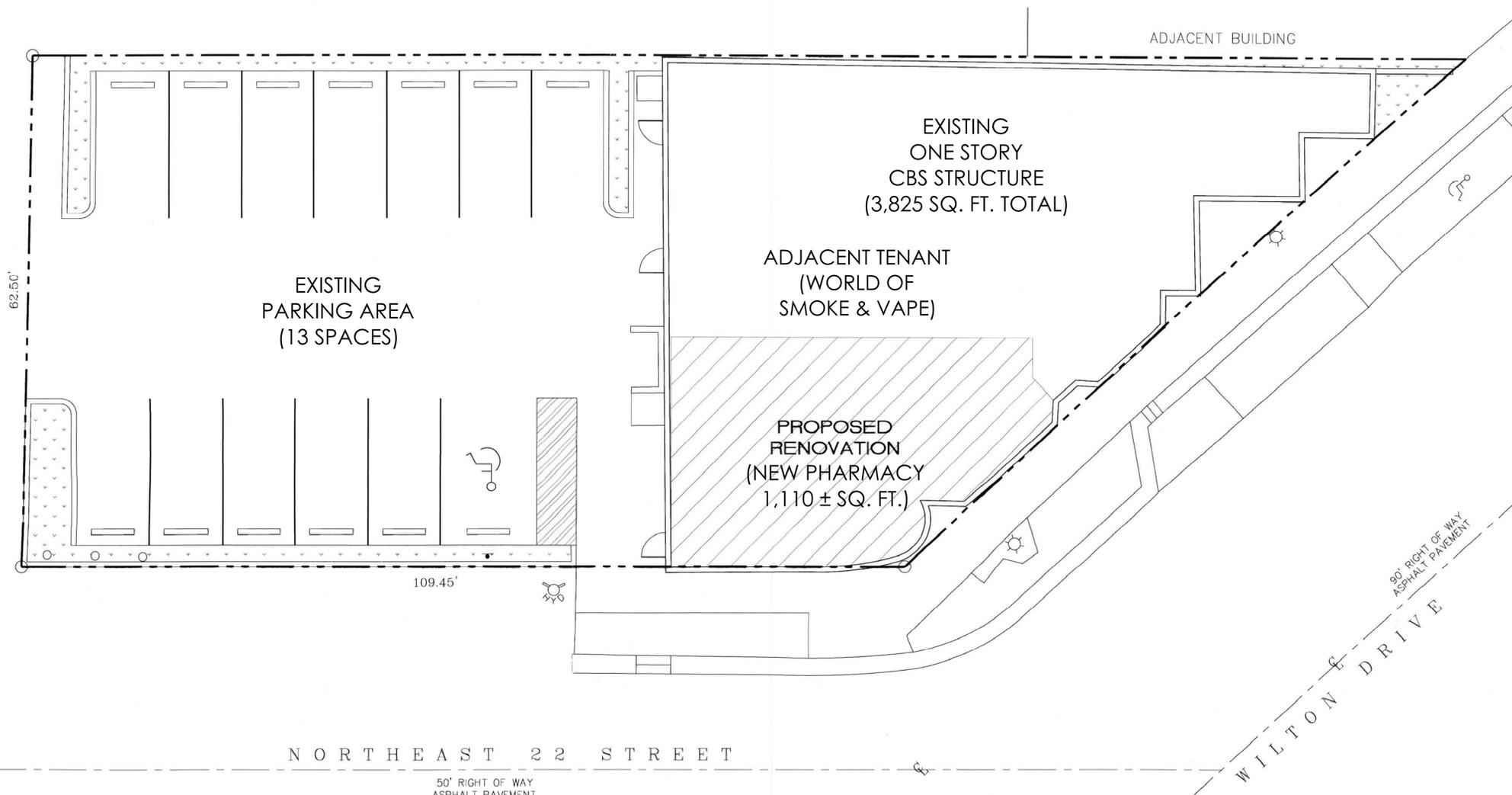
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Sheet Description:

COVER SHEET

Sheet:

A-0



SITE PLAN
 SCALE: 1/8" = 1'-0" AREA = 8,514 SQ. FT. (0.195 ACRES)



SITE AND BUILDING DATA	
PROPERTY ADDRESS:	2201 WILTON MANORS DRIVE WILTON MANORS, FL 33305
PROPERTY I.D. NUMBER:	4942 26 05 1210
ABBREVIATED LEGAL DESCRIPTION:	WILTON MANORS UNIT 1 AMD PLAT 15-1 B PT OF BLK 47 F/P/A LOT 13 & S 62.5 LOT 14 BLK 47.
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LOT AREA:	8,514 SQ. FT. (0.195 ACRES)
TENANT SPACE AREA:	1,110 SQ. FT. ±
YEAR BUILT:	1974
ALTERATION LEVEL - CLASSIFICATION OF WORK:	2023 FBC (EXISTING) SECTION 504, ALTERATION - LEVEL 2
PARKING CALCULATIONS:	EXISTING AND UNCHANGED

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NEW PHARMACY TENANT INTERIOR BUILDOUT

2201 Wilton Drive
 Wilton Manors, FL 33305

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Sheet Description:
SITE PLAN

Sheet:
A-1

**NEW PHARMACY
TENANT INTERIOR BUILDOUT**
2201 Wilton Drive
Wilton Manors, FL 33305

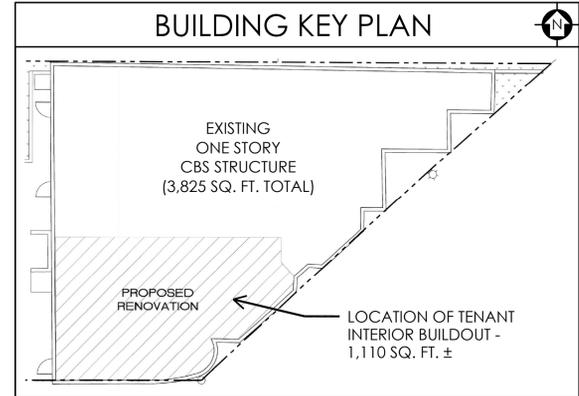
LIFE SAFETY INFORMATION

OCCUPANT LOAD:
 FBC TABLE 1004.1.2
 FUNCTION OF SPACE = BUSINESS (PHARMACY)
 OCCUPANT LOAD FACTOR = 50 SQ. FT. PER PERSON
 TENANT SPACE AREA = 1,110 SQ. FT. ±
 1,110 SQ. FT. / 50 SQ. FT. / PERSON = 22 PEOPLE

**FBC CHAPTER 10, SECTION 1017
 BUSINESS GROUP B
 WITHOUT FIRE SPRINKLER SYSTEM
 MAXIMUM TRAVEL DISTANCE PROVIDED = 40'**

MINIMUM AISLE AND CORRIDOR WIDTH:
 FBC CHAPTER 10, TABLE 1020.2
 MINIMUM CORRIDOR WIDTH REQUIRED = 36" MINIMUM
 MINIMUM CORRIDOR WIDTH PROVIDED = 44"

EGRESS CAPACITY:
 NFPA 101 7.3.3, TABLE 7.3.3.1
 MINIMUM EGRESS WIDTH REQUIRED = 0.2' x 22 PEOPLE = 4.4" MINIMUM
 EGRESS WIDTH PROVIDED = 72"

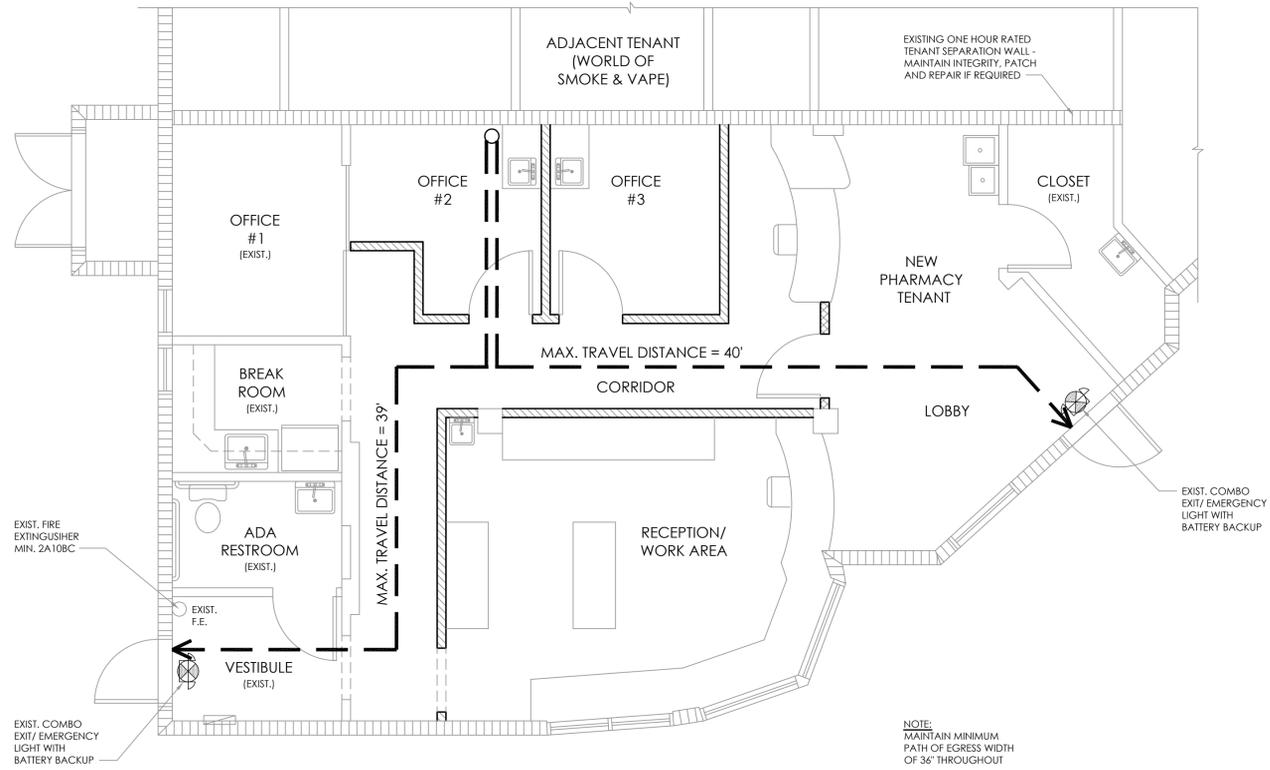


DOOR SCHEDULE

MARK	WIDTH	HEIGHT	TYPE	REMARKS
①	3'-0"	6'-8"	S.C. WOOD	PAINTED FLUSH DOOR WITH METAL FRAME
EX	-	-	-	EXISTING DOOR TO REMAIN

DOOR NOTES:
 1. ALL DOORS SHALL COMPLY WITH NFPA 101-7.2.1.5 AND 7.2.1.4.4.
 2. ALL DOORS SHALL HAVE LEVER OPERATED MECHANISMS AND SHALL COMPLY WITH ADA AND FLORIDA ACCESSIBILITY CODE FOR BUILDING AND CONSTRUCTION.
 3. CONTRACTOR TO COORDINATE DOOR HARDWARE, COLOR AND STYLE WITH OWNER PRIOR TO INSTALLATION.
 4. CONTRACTOR TO COORDINATE DOOR FRAME WITH PARTITION THICKNESS.

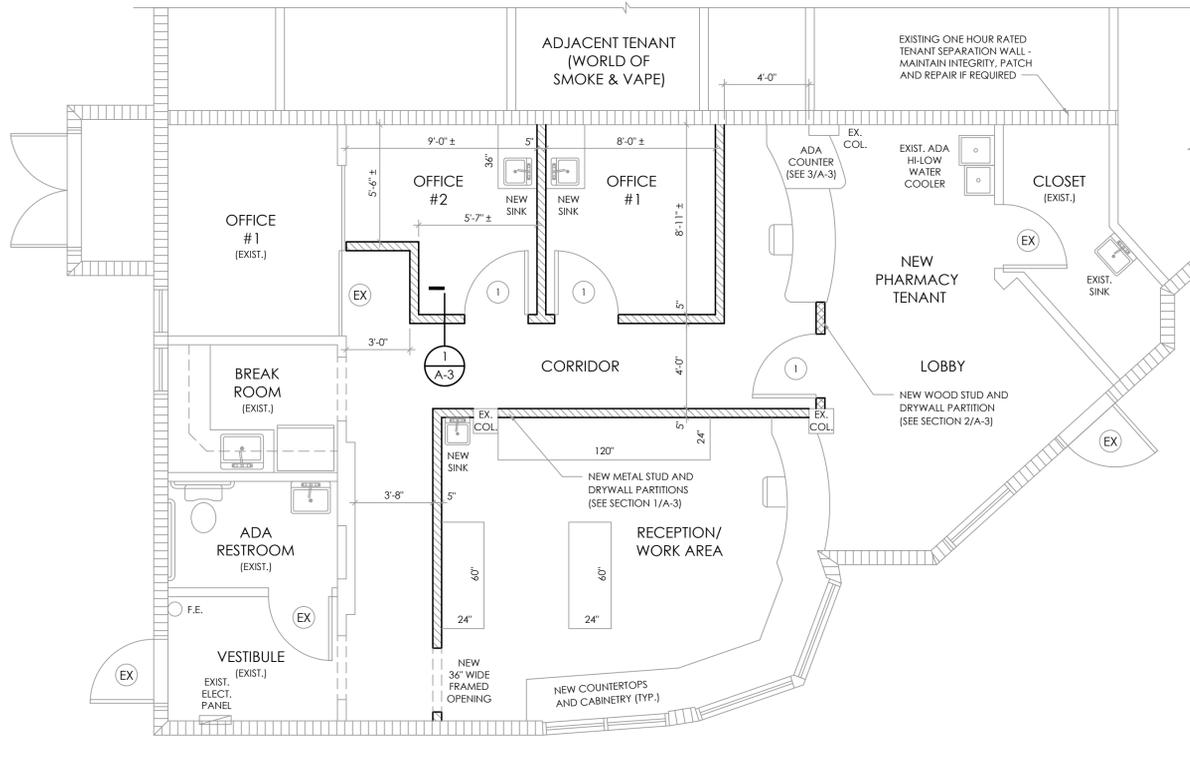
- ### FINISH NOTES
- ALL FIELD DIMENSIONS AND CONDITIONS SHALL BE VERIFIED PRIOR TO PURCHASING OR FABRICATION BY THE CONTRACTOR.
 - CONTRACTOR TO PATCH AND REPAIR EXISTING WALLS, FLOORS AND CEILINGS AS REQUIRED IN ALL AFFECTED AREAS. NEW FINISHES TO MATCH AND BE FLUSH WITH EXISTING ADJACENT SURFACES.
 - ALL PAINTS SHALL BE INTERIOR ACRYLIC LATEX, LOW ODOR, ZERO-VOC AND ANTI-MICROBIAL. ONE (1) COAT PRIMER AND TWO (2) COATS FINISH COLOR TO BE COMPLETED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND WARRANTY.
 - ANY NEW GYPSUM WALLBOARD TO BE LEVEL 4 FINISH.
 - PROVIDE TRANSITION THRESHOLDS IN CHANGES OF FLOOR ELEVATION.
 - CONTRACTOR MUST FOLLOW FLOORING MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
 - REFER TO FLOORING MANUFACTURER'S RECOMMENDATIONS FOR PROPER ADHESIVE.
 - CONTRACTOR TO LEVEL UNEVEN FLOORS AS NECESSARY BY FEATHERING IN NEW CONCRETE TOPPING OR SCRAPING EXISTING CONCRETE TO PROVIDE A SMOOTH AND LEVEL FINISHED FLOOR SURFACE.
 - CONTRACTOR TO CONFIRM FLOOR AND WALL FINISHES, CABINERY, SHELVING, FURNITURE, APPLIANCES, EQUIPMENT, LIGHTING AND PLUMBING FIXTURES, ETC. WITH OWNER PRIOR TO PURCHASING OR INSTALLATION.
 - CONTRACTOR TO FIELD COORDINATE, INSTALL ALL FIRE RETARDANT WOOD BLOCKING REQUIRED FOR INSTALLATION OF TVS, EQUIPMENT, CABINERY, SHELVING OR ANY OTHER ITEMS REQUIRING BLOCKING.



LIFE SAFETY PLAN

SCALE: 1/4" = 1'-0"

TENANT SPACE = 1,110 SQ. FT. ±



FLOOR PLAN

SCALE: 1/4" = 1'-0"

TENANT SPACE = 1,110 SQ. FT. ±



Revisions

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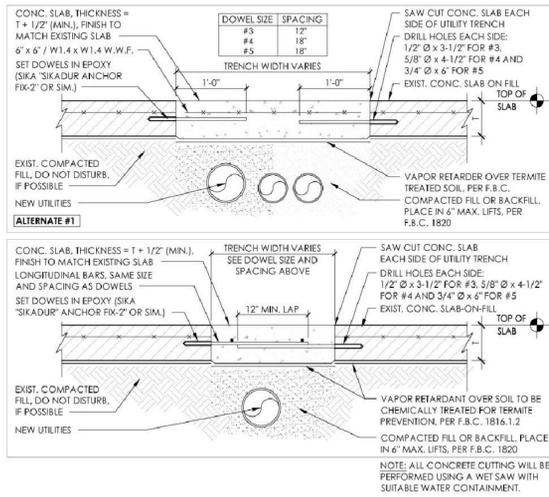
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FLOOR AND LIFE SAFETY PLANS

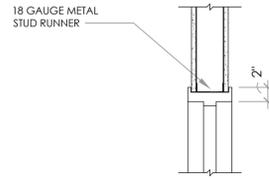
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SLAB REPAIR DETAIL

NOT TO SCALE

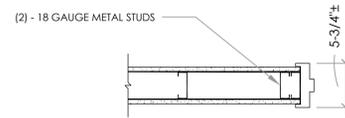
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A-3



INTERIOR DOOR HEADER

SCALE: 1" = 1'-0"

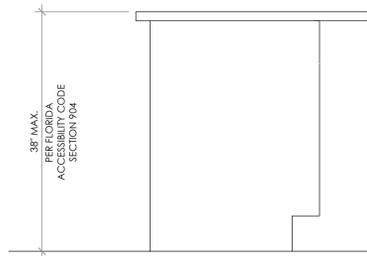
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INTERIOR DOOR JAMB

SCALE: 1" = 1'-0"

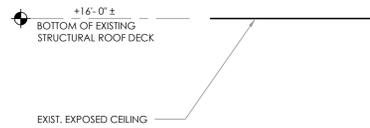
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ADA COUNTER

SCALE: 1" = 1'-0"

3
A-3

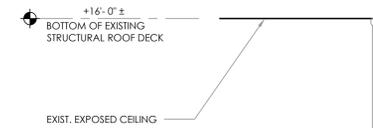


NEW PARTITION SECTION

SCALE: 1/2" = 1'-0"

WOOD STUDS

2
A-3



NEW PARTITION SECTION

SCALE: 1/2" = 1'-0"

METAL STUDS

1
A-3

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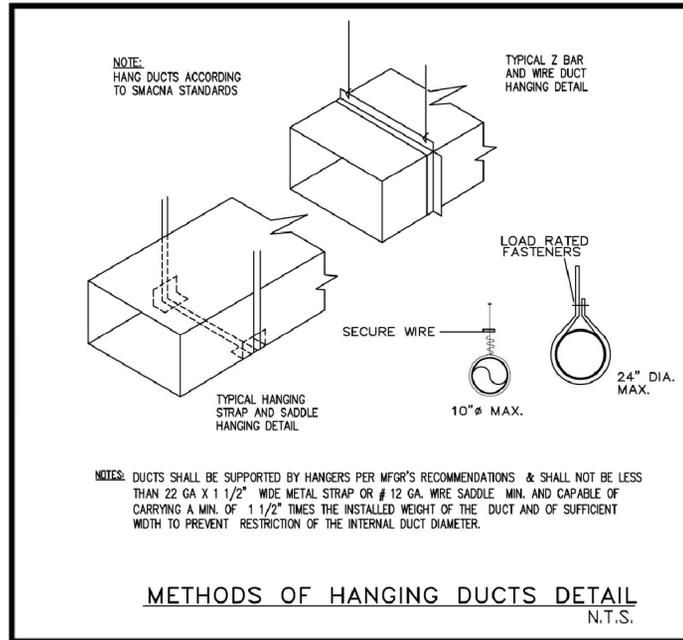
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Sheet Description:
SECTIONS AND DETAILS

Sheet:

A-3

**NEW PHARMACY
TENANT INTERIOR BUILDOUT**
2201 Wilton Drive
Wilton Manors, FL 33305



AIR DISTRIBUTION SCHEDULE								
MARK	DESCRIPTION	MAKE	MODEL	SIZE	FINISH	MATERIAL	DAMPER	REMARKS
A	SQUARE LOUVERED SUPPLY	TITUS	TDCA-AA	24X24	WHITE	ALUMIN	AG-95	SEE NOTES
B	SQUARE RETURN	TITUS	350FL	24X24	WHITE	ALUMIN	-	SEE NOTES

1. PROVIDE SQUARE TO ROUND ADAPTER FOR GRILLES THAT ARE CONNECTED TO ROUND DUCT.
2. OFF WHITE COORDINATE WITH ARCHITECT FOR COLOR & PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL PRIOR TO PURCHASE
3. PROVIDE WITH DOUBLE DEFLECTION BLADE.

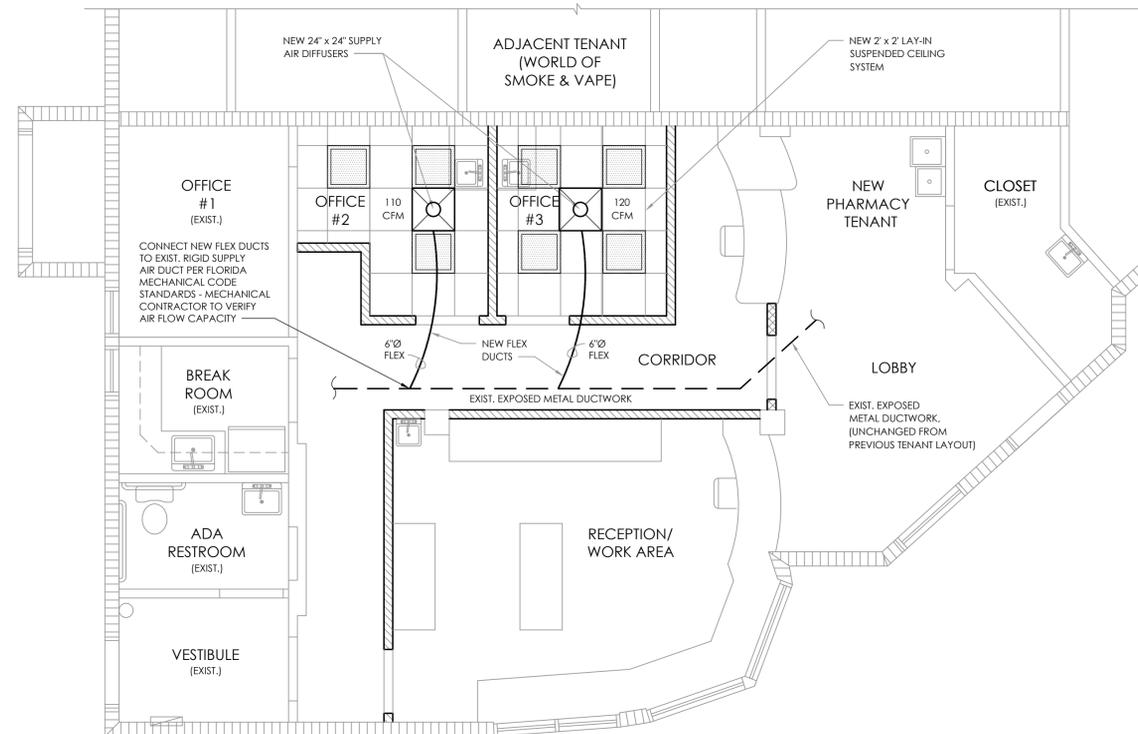
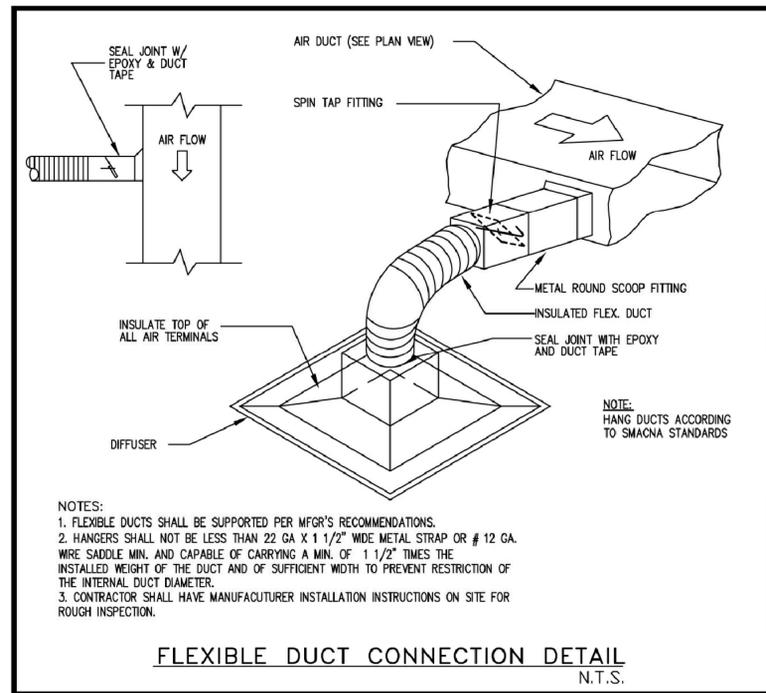
MECHANICAL NOTES

1. ALL WORK TO BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR IN A FIRST-CLASS MANNER. THE SYSTEM SHALL BE FULLY OPERATIONAL AND IN STRICT COMPLIANCE WITH THE LATEST EDITION OF THE FLORIDA MECHANICAL CODE, APPLICABLE SECTIONS OF THE NFPA, ALL ANSI AND SMACNA STANDARDS.

2. DUCT SIZES SHOWN ARE NET FREE AREA.

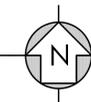
3. ALL AIR DEVICES (DIFFUSERS, REGISTERS, AND GRILLES) SHALL BE ALL ALUMINUM CONSTRUCTION WITH EXPOSED SURFACES CHEMICALLY TREATED TO RECEIVE PAINT TO MATCH COLOR OR AIRGUIDE OR APPROVED EQUAL.

NOTE: ONLY NEW OR EXIST. A/C DUCTS, DIFFUSERS AND DEVICES THAT ARE RELEVANT, BEING REPLACED OR MODIFIED ARE SHOWN ON THIS MECHANICAL PLAN.



MECHANICAL PLAN

SCALE: 1/4" = 1'-0"



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Sheet Description:
MECHANICAL PLAN AND DETAILS

Sheet:

M-1

**NEW PHARMACY
TENANT INTERIOR BUILDOUT**
2201 Wilton Drive
Wilton Manors, FL 33305

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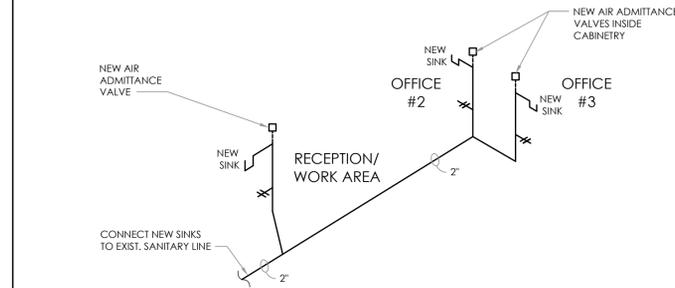
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Sheet Description:
PLUMBING PLAN AND DETAILS

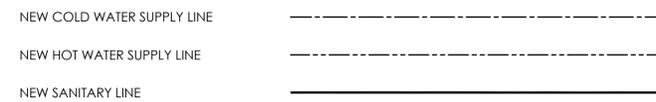
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P-1

SANITARY RISER DIAGRAM



PLUMBING LEGEND

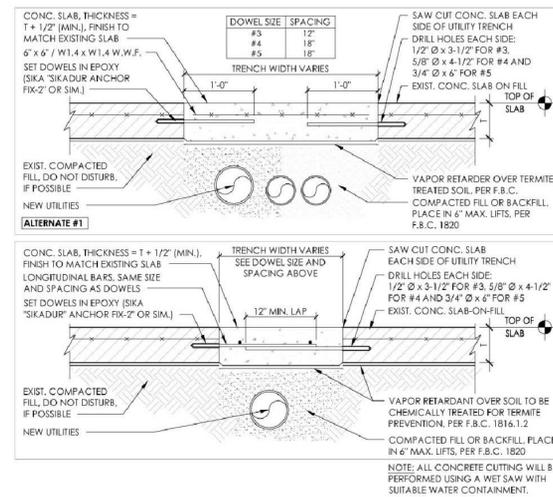


MAXIMUM FLOW RATES

PLUMBING FIXTURE OR FIXTURE FITTING	MAXIMUM FLOW RATE
SINKS	1.5 GPM AT 80 PSI

NOTE: ALL INSTALLED PLUMBING FIXTURES AND FIXTURE FITTINGS SHALL COMPLY WITH MAXIMUM FLOW RATES AS INDICATED ABOVE.

NOTE: ONLY NEW OR EXIST. PLUMBING FIXTURES AND DEVICES THAT ARE RELEVANT, BEING REPLACED OR MODIFIED ARE SHOWN ON THIS PLUMBING PLAN.



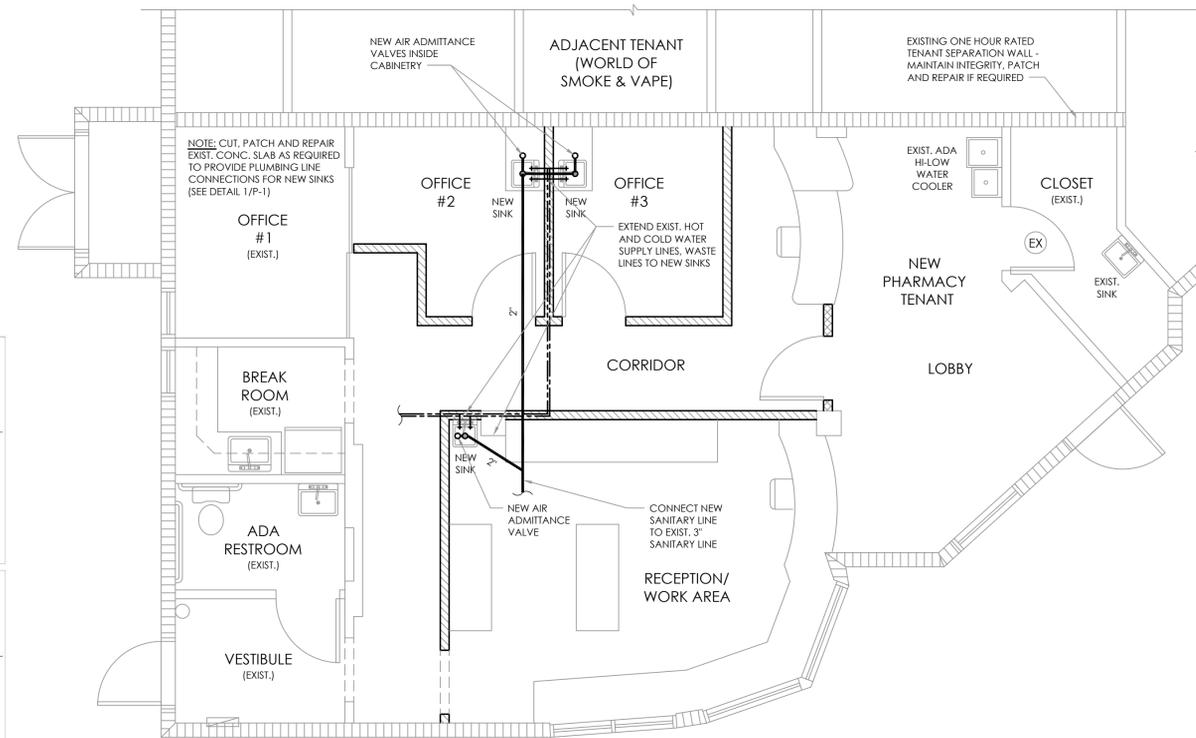
SLAB REPAIR DETAIL

NOT TO SCALE

1
P-1

PLUMBING NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2023 EDITION PLUMBING SECTION, WITH THE LATEST AMENDMENTS, AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, LOCAL CODES, RULES AND ORDINANCES.
- ALL MATERIALS SHALL BE NEW.
- ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIONAL.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
- CONTRACTOR TO COORDINATE NEW SINK SELECTIONS WITH OWNER PRIOR TO PURCHASE OR INSTALLATION.
- INSTALL AIR CHAMBERS OR SHOCK ABSORBERS IN PIPING SYSTEM TO PREVENT NOISE AND DAMAGE DUE TO WATER HAMMER.
- PROVIDE SHUT-OFF VALVES IN THE SUPPLY PIPING TO EVERY FIXTURE.
- ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS.
- SANITARY PIPE 3" AND SMALLER SHALL BE SLOPED AT 1/4" PER FOOT. SANITARY PIPE 4" AND LARGER SHALL BE SLOPED AT 1/8" PER FOOT. CONDENSATE PIPING SHALL BE SLOPED AT A MINIMUM OF 1/4" PER FOOT.
- DO NOT ROUTE WET PIPING OVER ELECTRICAL EQUIPMENT.
- SOIL, WASTE, AND VENT PIPING TO BE PVC #40 DVW.
- HOT AND HOT WATER RETURN LINES SHALL BE INSULATED WITH 1/2" TO 1" THICK ARMAFLEX INSULATION FROM THE WATER HEATER TO THE FURTHEST FIXTURE PER FBC 2023 CHAPTER 13 SECTION 13-412 AB.4 (1) AND TABLE 13-411.AB.2.
- WHERE DISSIMILAR METALS ARE TO BE JOINED, APPROVED INSULATING UNIONS SHALL BE USED.



PLUMBING PLAN

SCALE: 1/4" = 1'-0"

