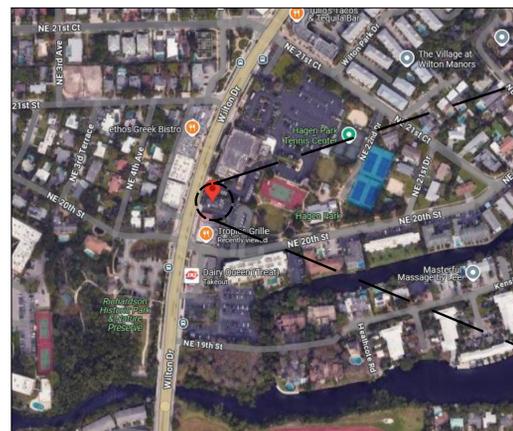


THE FLOWERY - WILTON MANORS

2010 Wilton Drive,
Wilton Manors, FL 33305

studio **RAD**
ARCHITECTURE & DESIGN

1124 Robinson Drive N.
St. Petersburg, FL. 33710
t. 305-525-6026
e. jovan@studioradllc.com
License No. AR103307



VICINITY MAP (N.T.S.)



LOCATION MAP (N.T.S.)



INDEX OF DRAWINGS	
SHEET #	DESCRIPTION
G-1.0	COVER SHEET
G-1.1	SURVEY
A-1.0	EXISTING SITE PLAN
A-1.1	1ST FLOOR DEMOLITION PLAN
A-2.1	1ST FLOOR PLAN
L-1.0	LANDSCAPE PLAN

ABBREVIATIONS:

A.F.C.	ABOVE FINISH CEILING	H.M.	HOLLOW METAL
A.F.F.	ABOVE FINISH FLOOR	IMAG.	IMAGE
A.C.T.	ACOUSTICAL CEILING TILE	INSUL.	INSULATION
ALUM.	ALUMINUM	JT.	JOINT
BLK.	BLOCK	K.O.	KNOCK OUT
BOTT.	BOTTOM	LK.	LOCK
BTM.	BOTTOM	MANUF.	MANUFACTURER
BLDG.	BUILDING	M.C.	MEDICAL CLOSET
CLG.	CEILING	M.C.J.	MASONRY CONTROL JOINT
C.	CARPET	M.O.	MASONRY OPENING
C.T.	CERAMIC TILE	MAX.	MAXIMUM
C.B.	CHALK BOARD	MECH.	MECHANICAL
COL.	COLUMN	MTL.	METAL
CONC.	CONCRETE	M.L.	METAL LATH
CONC. J.	CONCRETE JOINT	MIN.	MINIMUM
C.M.U.	CONCRETE MASONRY UNIT	MIRR.	MIRROR
DN.	DOWN	N.	NORTH
D.S.	DOWN SPOUT	N.I.C.	NOT IN CONTRACT
D.F.	DRINKING FOUNTAIN	N.T.S.	NOT TO SCALE
ELAST.	ELASTOMERIC	NO.	NUMBER
ELEV.	ELEVATION	O.C.	ON CENTER
EQ.	EQUAL	PT.	PAINT
EXIST.	EXISTING	PLAST.	PLASTER
EXP.	EXPANSION	P.T.	PRESSURE TREATED
E.J.	EXPANSION JOINT	Q.T.	QUARRY TILE
EXISTG.	EXISTING	REINF.	REINFORCING
E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM	REQD.	REQUIRED
FIN.	FINISH	R.D.	ROOF DRAIN
F.E.	FIRE EXTINGUISHER	R.F.G.	ROOFING
FLAS.	PLASTER	RM.	ROOM
FLR.	FLOOR	R.T.	RUBBER TILE
FTG.	FOOTING	SPECS.	SPECIFICATIONS
FT.	FOOT OR FEET	STL.	STEEL
FDN.	FOUNDATION	T.B.	TACK BOARD
GALV.	GALVANIZED	TYP.	TYPICAL
GA.	GAUGE	U.N.O.	UNLESS NOTED OTHERWISE
G.W.B.	GYPSUM WALL BOARD	VERT.	VERTICAL
HDW.	HARDWARE	V.C.T.	VINYL COMPOSITION TILE
HGT.	HEIGHT	WGT.	WEIGHT
		W.C.	WATER CLOSET
		WDW.	WINDOW
		W/	WITH
		WD.	WOOD

Issued For: SITE PLAN REVIEW

Date Printed: 08/07/2025

RAD Project Number: 25-008

studio
RAD
ARCHITECTURE & DESIGN

SEAL:



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WHEN PRINTED FULL SIZE THIS SHEET MEASURES 24" x 36"

PROJECT NAME:
**TENANT IMPROVEMENT TO:
T.F. WILTON MANORS**

PROJECT LOCATION:
2010 WILTON DRIVE, WILTON MANORS, FL

COMPANY:

Studio RAD LLC

Architecture & Design

1124 Robinson Drive N.

St. Petersburg, Florida 33710

t. 305.525.6026

e. jovan@studioradllc.com

AR103307 | AIA04064630 | NCARB111286

PROJECT NO.: 25-008

DRAWN BY: JR

ISSUED: SITE PLAN REVIEW

DATE: 08-07-2025

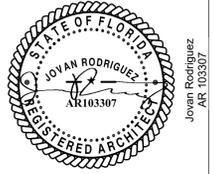
No.	Date	Revisions
1		
2		

COVER SHEET

G1.0

Scale: See Drawings Label

SEAL:



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St. Petersburg, Florida 33710
t. 305.525.6026
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No.	Date	Description
1	08-07-2025	ISSUED: SITE PLAN REVIEW
2		
3		
4		
5		
6		
7		
8		
9		
10		

REVISIONS

1 SURVEY

G-1.1

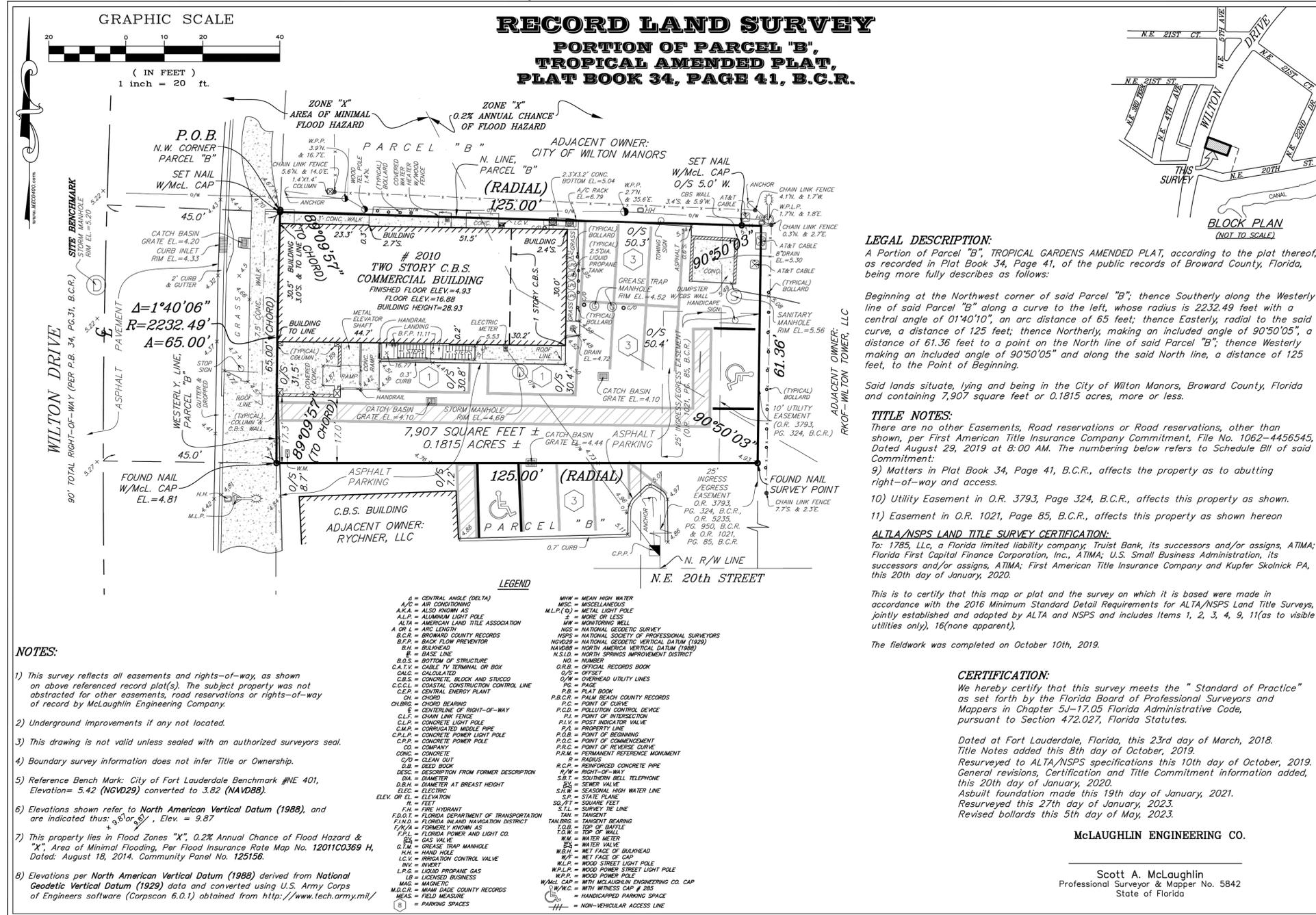
SCALE: 1"=20'-0"

G1.1

Scale: See Drawings Label

McLAUGHLIN ENGINEERING COMPANY
(L.B.# 285)
1700 N.W. 64th STREET, SUITE 400
FORT LAUDERDALE, FLORIDA 33309
ENGINEERING - SURVEYING - PLATTING - LAND PLANNING
WEB: www.MECO400.com, INFO@MECO400.COM,
PHONE: (954)763-7611

RECORD LAND SURVEY
PORTION OF PARCEL "B",
TROPICAL AMENDED PLAT,
PLAT BOOK 34, PAGE 41, B.C.R.



LEGAL DESCRIPTION:
A Portion of Parcel "B", TROPICAL GARDENS AMENDED PLAT, according to the plat thereof, as recorded in Plat Book 34, Page 41, of the public records of Broward County, Florida, being more fully describes as follows:

Beginning at the Northwest corner of said Parcel "B"; thence Southerly along the Westerly line of said Parcel "B" along a curve to the left, whose radius is 2232.49 feet with a central angle of 01°40'10", an arc distance of 65 feet; thence Easterly, radial to the said curve, a distance of 125 feet; thence Northerly, making an included angle of 90°50'05", a distance of 61.36 feet to a point on the North line of said Parcel "B"; thence Westerly making an included angle of 90°50'05" and along the said North line, a distance of 125 feet, to the Point of Beginning.

Said lands situate, lying and being in the City of Wilton Manors, Broward County, Florida and containing 7,907 square feet or 0.1815 acres, more or less.

TITLE NOTES:
There are no other Easements, Road reservations or Road reservations, other than shown, per First American Title Insurance Company Commitment, File No. 1062-4456545, Dated August 29, 2019 at 8:00 AM. The numbering below refers to Schedule BII of said Commitment:

- 9) Matters in Plat Book 34, Page 41, B.C.R., affects the property as to abutting right-of-way and access.
- 10) Utility Easement in O.R. 3793, Page 324, B.C.R., affects this property as shown.
- 11) Easement in O.R. 1021, Page 85, B.C.R., affects this property as shown hereon

ALTA/NSPS LAND TITLE SURVEY CERTIFICATION:
To: 1785, LLC, a Florida limited liability company; Trust Bank, its successors and/or assigns, ATIMA; Florida First Capital Finance Corporation, Inc., ATIMA; U.S. Small Business Administration, its successors and/or assigns, ATIMA; First American Title Insurance Company and Kupfer Skolnick PA, this 20th day of January, 2020.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 9, 11 (as to visible utilities only), 16 (none apparent).

The fieldwork was completed on October 10th, 2019.

CERTIFICATION:
We hereby certify that this survey meets the "Standard of Practice" as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Dated at Fort Lauderdale, Florida, this 23rd day of March, 2018.
Title Notes added this 8th day of October, 2019.
Resurveyed to ALTA/NSPS specifications this 10th day of October, 2019.
General revisions, Certification and Title Commitment information added, this 20th day of January, 2020.
Asbuilt foundation made this 19th day of January, 2021.
Resurveyed this 27th day of January, 2023.
Revised bollards this 5th day of May, 2023.

McLAUGHLIN ENGINEERING CO.

Scott A. McLaughlin
Professional Surveyor & Mapper No. 5842
State of Florida

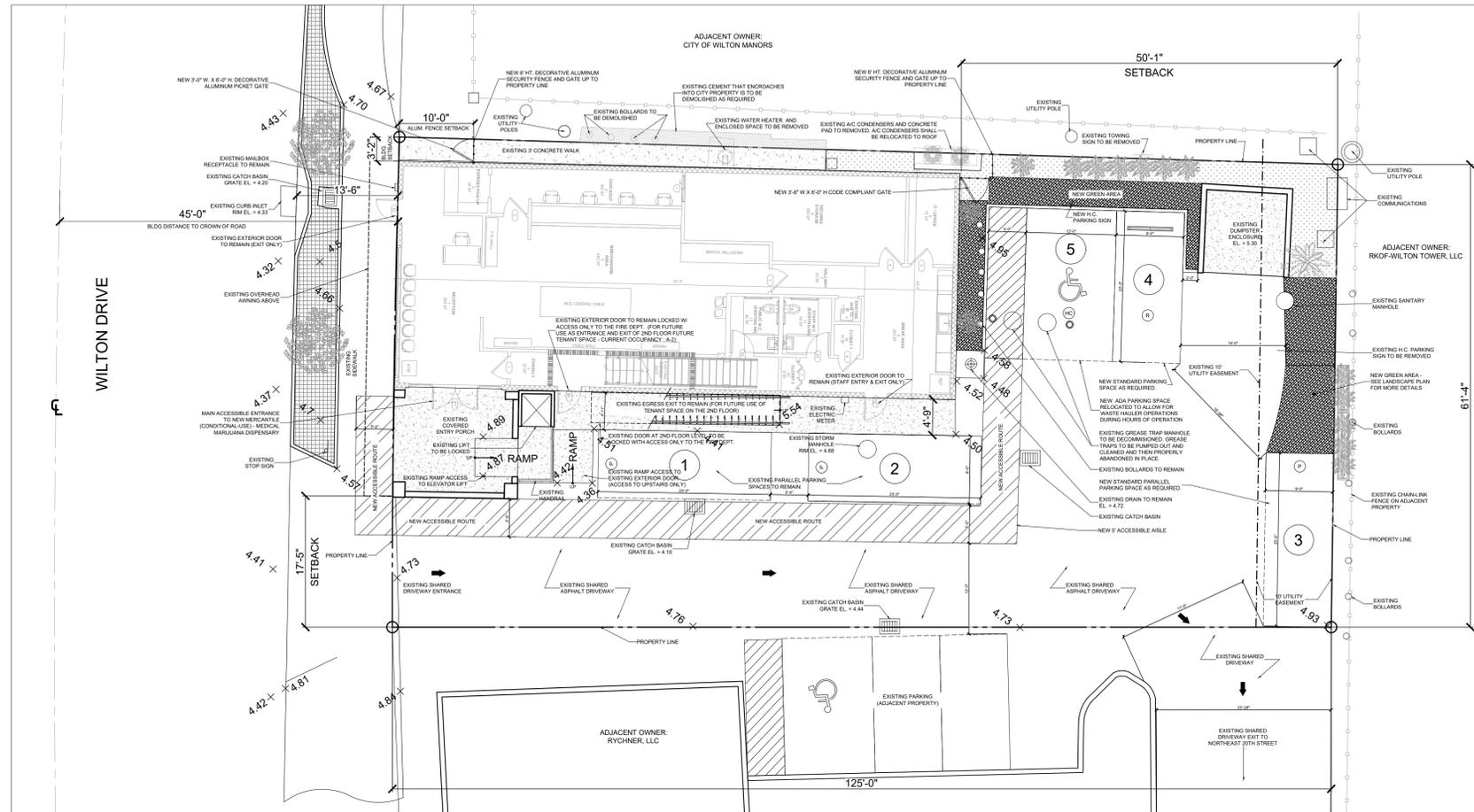
DRAWN BY: RT, KT, JMMF, RT, KT
CHECKED BY:

NOTES:

- 1) This survey reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not abstracted for other easements, road reservations or rights-of-way of record by McLaughlin Engineering Company.
- 2) Underground improvements if any not located.
- 3) This drawing is not valid unless sealed with an authorized surveyors seal.
- 4) Boundary survey information does not infer Title or Ownership.
- 5) Reference Bench Mark: City of Fort Lauderdale Benchmark #NE 401, Elevation = 5.42 (NGVD29) converted to 3.82 (NAVD88).
- 6) Elevations shown refer to North American Vertical Datum (1988), and are indicated thus: 3.82' ±, Elev. = 3.87
- 7) This property lies in Flood Zones "X", 0.2% Annual Chance of Flood Hazard & "X", Area of Minimal Flooding, Per Flood Insurance Rate Map No. 12011C0369 H, Dated: August 18, 2014, Community Panel No. 125156.
- 8) Elevations per North American Vertical Datum (1988) derived from National Geodetic Vertical Datum (1929) data and converted using U.S. Army Corps of Engineers software (Corpscon 6.0.1) obtained from <http://www.tech.army.mil/>

FIELD BOOK NO. LB# 371/25, PRINT, LB# 412/49, TDS
JOB ORDER NO. V-3162, V4729, V4992, V-5767, V-7514

FILE NO. 06-1-052(23)



1
A-1.0 EXISTING SITE PLAN
SCALE: 1"=10'-0"
N

GRADE LEGEND

X 4.72	EXISTING GRADE FROM SURVEY
--------	----------------------------



EXISTING ELEVATION NO CHANGES OTHER THAN NEW PAINT AND FUTURE SIGNAGE UNDER SEPARATE PERMIT

2
A-1.0 EXISTING FACADE ELEVATION
SCALE: N.T.S.

SITE DATA SUMMARY											
LEGAL DESCRIPTION:	A PORTION OF PARCEL "B", TROPICAL GARDENS AMENDED PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 41, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA										
ADDRESS:	2010 WILTON DRIVE, WILTON MANORS, FLORIDA										
LAND USE DESIGNATION:	COMMERCIAL										
ZONING DESIGNATION:	A & E - ART AND ENTERTAINMENT DISTRICT										
BUILDING AREA (1ST FLOOR + 2ND FLOOR):	4,423 GSF										
PROPOSED USE:	1ST FLOOR USE: M - MERCANTILE (CONDITIONAL-USE) (MEDICAL MARIJUANA DISPENSARY) 2ND FLOOR USE: A-2 - ASSEMBLY (BAR / RESTAURANT) EXISTING TO REMAIN WITH UNCERTAIN FUTURE-USE (CURRENTLY VACANT)										
AREA CALCULATIONS:	SITE AREA: 7,909 GSF / .18 ACRES PLOT COVERAGE BY ROOFED STRUCTURE: 2,489 GSF (EXISTING & UNCHANGED) PARKING, DRIVEWAYS & DUMPSTER: 4,565 GSF (EXISTING & UNCHANGED) WALKS & PAVED AREAS: 395 GSF TOTAL IMPERVIOUS AREA (EXISTING & UNCHANGED): 7,608 GSF (96%) TOTAL PERVIOUS AREA REQUIRED: 0% (LESS THAN 1.5 ACRES) TOTAL PERVIOUS AREA PROVIDED (EXISTING & UNCHANGED): 301 GSF (4%)										
BUILDING AREA CALCULATION:	1ST FLOOR GROSS BLDG FOOTPRINT (UNCHANGED): 2,489 SF 1ST FLOOR INTERIOR A/C SPACE: 2,243 SF 2ND FLOOR EXISTING & PROPOSED (UNCHANGED): 1,934 SF (OVERALL FLOOR SPACE 2ND FLOOR)										
PARKING CALCULATIONS:	1ST FLOOR RETAIL AREA: PARKING REQ. FOR RETAIL = 0 2ND FLOOR AREA: 1,934 SF										
REQUIRED:	1,934 SF / 500 X 1 = 4 SPACES REQUIRED + 1 ADA SPACE										
PROVIDED:	4 SELF PARKING SPACES PROVIDED + 1 ADA SELF PARKING SPACE PROVIDED										
SETBACKS:	<table border="1"> <thead> <tr> <th>REQUIRED</th> <th>EXISTING:</th> </tr> </thead> <tbody> <tr> <td>FRONT, WEST</td> <td>NONE</td> </tr> <tr> <td>SIDE, NORTH</td> <td>NONE</td> </tr> <tr> <td>SIDE, SOUTH</td> <td>NONE</td> </tr> <tr> <td>REAR, EAST</td> <td>NONE</td> </tr> </tbody> </table>	REQUIRED	EXISTING:	FRONT, WEST	NONE	SIDE, NORTH	NONE	SIDE, SOUTH	NONE	REAR, EAST	NONE
REQUIRED	EXISTING:										
FRONT, WEST	NONE										
SIDE, NORTH	NONE										
SIDE, SOUTH	NONE										
REAR, EAST	NONE										
BUILDING HEIGHT:	2 STORY / +/- 29'-0"										
ADJACENT ZONING AND LAND USE:	<table border="1"> <tbody> <tr> <td>NORTH</td> <td>A&E / COMMERCIAL / 2 STORY GOVERNMENT BLDG</td> </tr> <tr> <td>EAST</td> <td>A&E / COMMERCIAL / PARKING LOT</td> </tr> <tr> <td>WEST</td> <td>A&E / COMMERCIAL / 1 STORY</td> </tr> <tr> <td>SOUTH</td> <td>A&E / COMMERCIAL / 1 STORY RESTAURANT</td> </tr> </tbody> </table>	NORTH	A&E / COMMERCIAL / 2 STORY GOVERNMENT BLDG	EAST	A&E / COMMERCIAL / PARKING LOT	WEST	A&E / COMMERCIAL / 1 STORY	SOUTH	A&E / COMMERCIAL / 1 STORY RESTAURANT		
NORTH	A&E / COMMERCIAL / 2 STORY GOVERNMENT BLDG										
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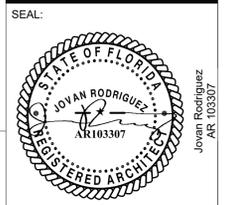
PROJECT NARRATIVE

THIS PROJECT CONSISTS OF AN INTERIOR TENANT REMODEL OF A FREE STANDING TWO-STORY BUILDING AND A CHANGE IN USE FROM AN "A-2" (RESTAURANT) TO A "M" (MERCANTILE) USE. THE NEW FIRST FLOOR SPACE SHALL BE A 2,243 SF MEDICAL MARIJUANA DISPENSARY. EXISTING KITCHEN AND EQUIPMENT TO BE DEMOLISHED AND PLUMBING CAPPED PER 2023 F.B.C. 8TH ED.

THE SECOND FLOOR WILL REMAIN AN "A-2" BAR WITH NO CURRENT TENANT. OCCUPANCIES SHALL BE SEPARATED PER NFPA 101 LIFE SAFETY CODE & 2023 F.B.C. 8TH ED. AND EXISTING EXITS TO BE MAINTAINED.

GENERAL NOTES - SITE WORK

- ALL LIGHTING, AND LANDSCAPE TO REMAIN. NO CHANGES OTHER THAN THE FOLLOWING.
 - NEW BUSINESS SIGNAGE UNDER A SEPARATE PERMIT
 - DEMOLITION AND REMOVAL OF L.P. TANKS AND CAPPING ALL GAS LINES. DEMOLITION PLANS TO BE SUBMITTED ALONG WITH BUILDING PERMIT DOCUMENTS.
 - NEW 6 FT DECORATIVE ALUMINUM SECURITY FENCE AND GATE AT NORTH-WEST SIDE OF PROPERTY (WILTON DRIVE) AND AT THE NORTH-EAST SIDE OF BUILDING.
 - NEW PARKING ARRANGEMENT TO ALLOW FOR DUMPSTER WASTE HAULING DURING NORMAL HOURS OF OPERATIONS.
 - ADDITIONAL LANDSCAPING FOR SITE IMPROVEMENT - SEE LANDSCAPE PLAN FOR MORE DETAILS.
- ALL SITE UTILITIES AND DRAINAGE TO REMAIN. DRAINAGE IS FUNCTIONAL AND EXISTING. NO CHANGES



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PROJECT NAME: **TF WILTON MANORS**
TENANT IMPROVEMENT TO:
PROJECT LOCATION: 2010 WILTON DRIVE, WILTON MANORS, FL

COMPANY:
Studio RAD LLC
Architecture & Design
1124 Robinson Drive N.
St. Petersburg, Florida 33710
t. 305.525.6026
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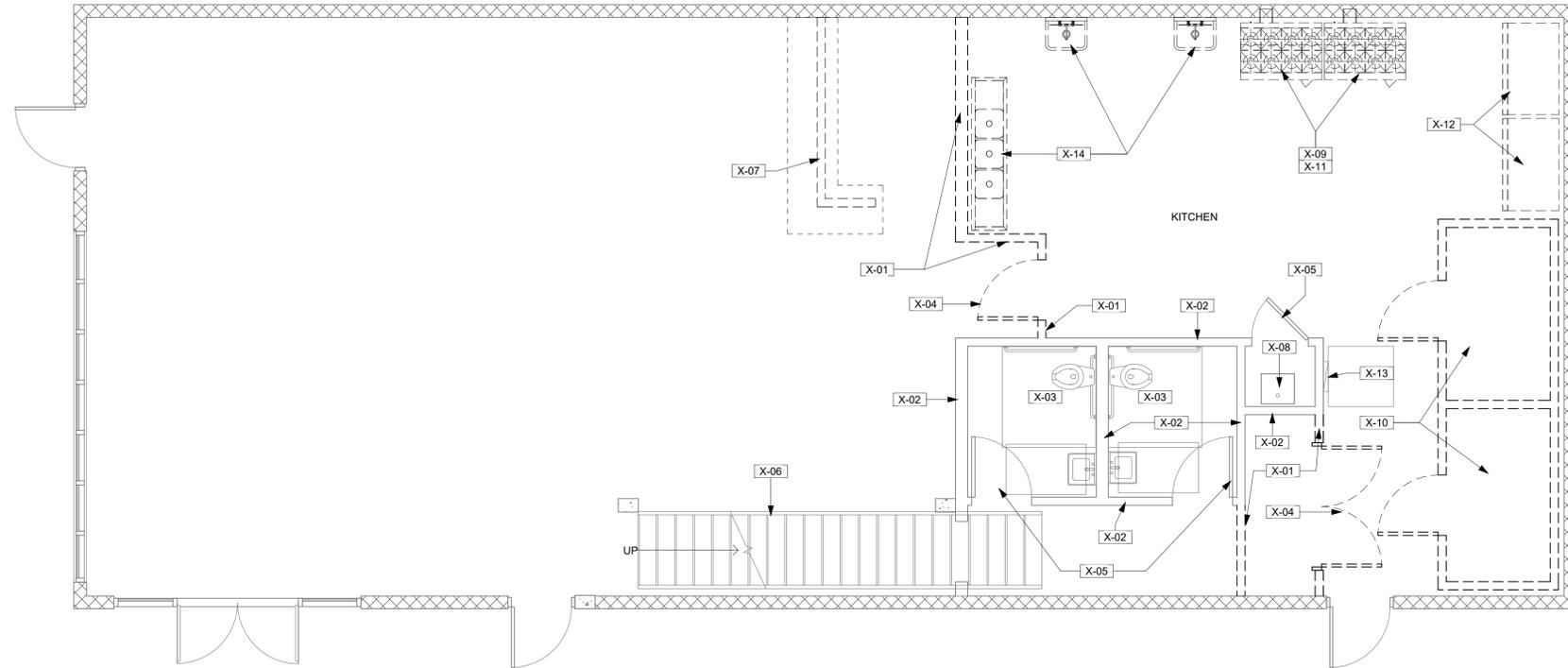
PROJECT NO.: 25-008
DRAWN BY: JR
ISSUED: SITE PLAN REVIEW
DATE: 09-01-2025

No.	Date	Description
1		
2		

EXISTING SITE PLAN

A1.0

Scale: See Drawings Label



1 DEMOLITION PLAN
1/4" = 1'-0"

Demolition Keynotes

Key Value	Keynote Text
X-01	DEMO INTERIOR PARTITION, TYP.
X-02	EXISTING INTERIOR PARTITION TO REMAIN. CONTRACTOR TO VERIFY FRAMING IS TO CODE AND TO PATCH AND REPAIR AS NEEDED. PREPARE FOR FINISH PER ID SCHEDULE. COORDINATE WITH OWNER
X-03	EXISTING BATHROOMS TO REMAIN. CONTRACTOR TO INSPECT CONDITION AND REPAIR AS NEEDED
X-04	DEMO DOOR AND FRAME, TYP.
X-05	EXISTING DOOR AND FRAME TO REMAIN. SEE FINISH SCHEDULE FOR PAINT OR FINISH.
X-06	EXISTING STAIR TO REMAIN
X-07	DEMO LOW WALL AND COUNTERTOP
X-08	EXISTING MOP SINK TO REMAIN
X-09	DEMO KITCHEN EQUIPMENT. CAP ALL EXISTING GAS, WATER, AND EXHAUST LINES AS NEEDED.
X-10	DEMO WALK-IN COOLERS. REMOVE ALL EQUIPMENT AND SYSTEMS FROM ROOF. SEE MECHANICAL DWGS.
X-11	DEMO COOKING EQUIPMENT. REMOVE ALL FLUE, EXHAUST HOODS, AND CAP VENTS. RESTORE, INSULATE, WATERPROOF AND SEAL AT ROOF TO MATCH EXISTING.
X-12	REMOVE REFRIGERATION EQUIPMENT. REMOVE ALL WATER LINES AS NEEDED
X-13	EXISTING ELECTRICAL PANEL TO REMAIN
X-14	DEMO PLUMBING FIXTURE. CAP EXISTING WATER AND DRAINAGE LINES

GENERAL NOTES - DEMOLITION PLAN (X)

- GREY LINES DENOTE EXISTING WORK TO REMAIN. BLACK DASHED LINES DENOTE WORK TO BE DEMOLISHED.
- IN COMPANY WITH THE OWNER, VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED.
 - CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
 - MARK INTERFACE SURFACES AS REQUIRED TO ENABLE WORKMEN TO IDENTIFY ITEMS TO BE REMOVED AND ITEMS TO BE LEFT IN PLACE.
- ALL FLOORING TO BE REMOVED. FLOORING TO BE STRIPPED AND LEVELED IN PREPARATION FOR POLISHED CONCRETE APPLICATION.
- DEMO ALL EXISTING ACT TILE CEILINGS AND FIXTURES. CONTRACTOR TO INSPECT EXISTING GYP. BD CEILINGS IN RESTROOMS FOR VIABILITY AND PATCH, REPAIR, AND REFINISH CEILINGS. SEE ID PACKAGE FOR MORE INFORMATION ON FINISHES.
- SHUT OFF, CAP, AND OTHERWISE PROTECT EXISTING PUBLIC UTILITY LINES IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC AGENCY OR UTILITY HAVING JURISDICTION.
- COMPLETELY REMOVE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID, AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE.
- IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- ALL DEMOLISHED MATERIAL SHALL BE CONSIDERED TO BE PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE.
- IN THE EVENT OF DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
- ASBESTOS AND HAZARDOUS MATERIALS DEMOLITION OR REMOVAL WORK IS NOT PART OF THIS CONSTRUCTION.
- GENERAL CONTRACTOR TO INCLUDE ALL INTERIOR AND EXTERIOR PATCHING, REPAIRING AND PAINTING TO PROVIDE A PROFESSIONAL AND COMPLETELY FINISHED PROJECT ACCEPTABLE TO THE OWNER.
- ALL EXISTING PARTITIONS TO REMAIN SHALL BE INSPECTED FOR STRUCTURAL INTEGRITY, DAMAGE, ETC. CONTRACTOR SHALL RESTORE, PATCH AND PREPARE FOR FINISH AS SCHEDULED.
- NO FIELD REVISIONS TO ANY STRUCTURAL COMPONENTS SHALL BE MADE WITHOUT PRIOR APPROVAL BY ARCHITECT. THIS INCLUDES (BUT IS NOT LIMITED TO) REVISION DUE TO MISLOCATION, MISFIT OR ANY OTHER CONSTRUCTION ERRORS OR DISCOVERIES DURING DEMOLITION.
- NO OPENING OR DEMOLITION SHALL BE PLACED IN ANY STRUCTURAL MEMBER (OTHER THAN INDICATED ON APPROVED DRAWINGS) UNTIL LOCATION HAS BEEN APPROVED.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STANDARD BUILDING CODE.
- REFER TO ELECTRICAL DRAWINGS DEMOLITION SCOPE.
- REFER TO MECHANICAL DRAWINGS DEMOLITION SCOPE.
- REFER TO G1.2 FOR GENERAL CONTRACTOR NOTES.

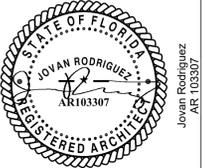
WALL LEGEND

- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED.
- EXISTING EXTERIOR WALL TO REMAIN.

NOTES:
CONTRACTOR TO INSPECT CONDITIONS OF EXISTING PARTITIONS TO REMAIN. ALL SUBSTANDARD PARTITIONS TO BE REPAIRED, PATCHED AS NEEDED IN PREPARATION FOR FINISHES AS SCHEDULED.

**studio
RAD**
ARCHITECTURE & DESIGN

SEAL:



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PROJECT NO: 25-008
DRAWN BY: JR
ISSUED: SITE PLAN REVIEW
DATE: 08-07-2025

No.	Date	Description

DEMOLITION PLAN

A1.1

Scale: As indicated

