

COMMUNITY FORUM:

Addressing Challenges to Wilton Manors Long Term Success and Viability

How aging infrastructure, environmental change, and complex interlocal relationships impact current and future economic growth and the quality of life

March 6, 2024



Life's Just Better Here

High Satisfaction Levels and Quality of Life _____



Key Components

- Capacity
- Transportation/Traffic
- Parks and Recreation
- Water, Wastewater, and Stormwater
- Redevelopment
- Public Art
- Public Safety and Emergencies
- Maintenance of Municipal Facilities
- Climate Change

Challenges

- Capacity
- Aging Infrastructure
- Increasingly Frequent Emergencies
- Budget
- Culture

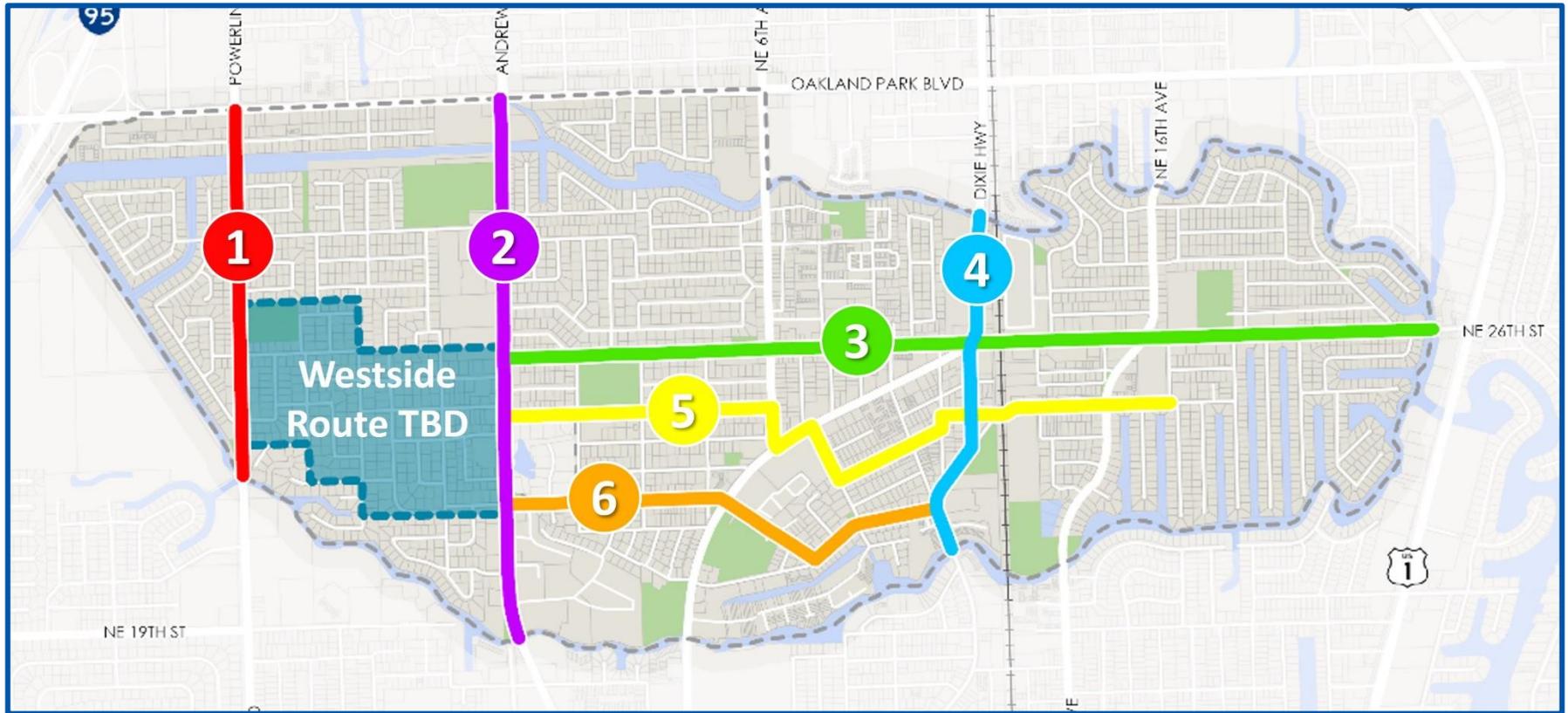
Multiple Jurisdictional Issues

- ✓ Fort Lauderdale
- ✓ Broward County
- ✓ MPO
- ✓ SFWMD
- ✓ FDOT
- ✓ FDEP
- ✓ All The Feds

Funding

- ✓ Federal
- ✓ State
- ✓ County
- ✓ Surtax
- ✓ Other

Transportation Master Plan Study Corridors



- (1) Powerline Rd (2) Andrews Av (3) NE 26 St (4) N. Dixie Hwy (5) NE 24 St Route
(6) NE 21 Ct Route (+ Future westside route)

General Solutions for Plan Study Area _____

Signalized Intersections

- ✓ Signals should be retimed to allow for pedestrians to cross at 3.5 ft/second; where senior housing is present, they should allow crossings at 2.8 ft/second
- ✓ Leading pedestrian interval treatments will be considered
- ✓ Protected left turn phases will be considered
- ✓ Left-turn calming treatments like hardened centerlines will be considered
- ✓ Pedestrian refuge islands or treatments to reduce crossing distance will be evaluated and included as space permits

Other Improvements

- ✓ All mid-block crossings are intended to include Rectangular Rapid Flashing Beacons (RRFBs) (or signals)
- ✓ On 2-lane roads, mid-block crossings should also be raised
- ✓ Conflict Markings should be added at intersections, driveways & back-out parking lots
- ✓ Side Street Curb Radii should be narrowed (Curb Extension)
- ✓ Add Wayfinding signage
- ✓ Underground utilities
- ✓ Evaluate lighting for safety and comfort

Transportation Master Plan _____



The City of Wilton Manors **TRANSPORTATION MASTER PLAN**

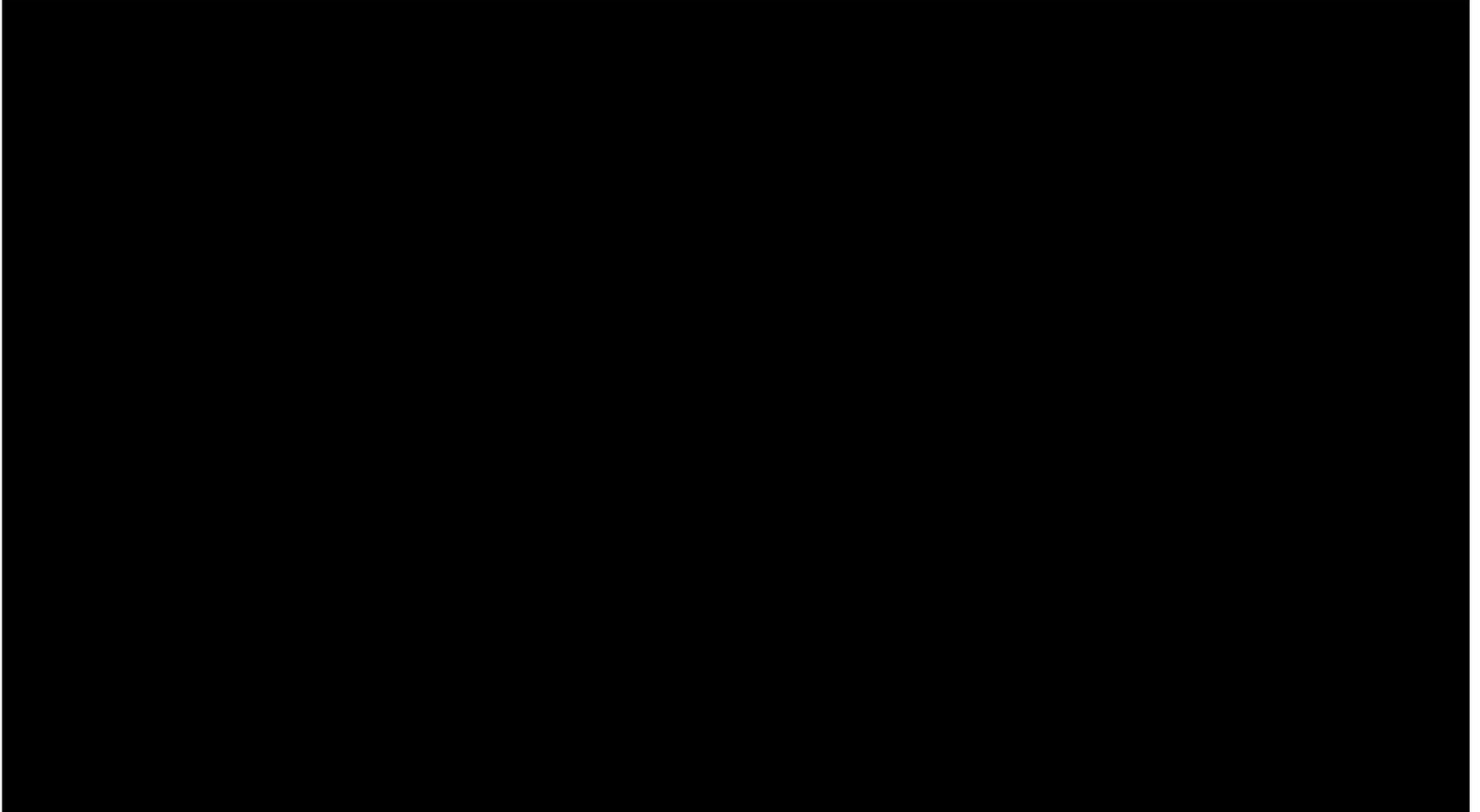


Learn more today!

browardmpo.org/plans/city-of-wilton-manors



Water, Wastewater, and Stormwater



Wastewater Capacity



GT Lohmeyer Wastewater Treatment Plant

Infiltration & Inflow (I/I) Overview_____

Infiltration: Water, other than wastewater, that enters the sewer pipes from the ground through such means as:

- Defective pipes
- Pipe joints
- Manhole cracks
- Defects in laterals



Inflow: Water, other than wastewater, that enters the sewer from sources such as:

- Down Spouts
- Yard Drains
- Storm-Sewer Cross Connections
- Manhole Covers
- Drainage
- Stormwater Surface Runoff



Strategic I/I Reduction Program



I/I Reduction Goals

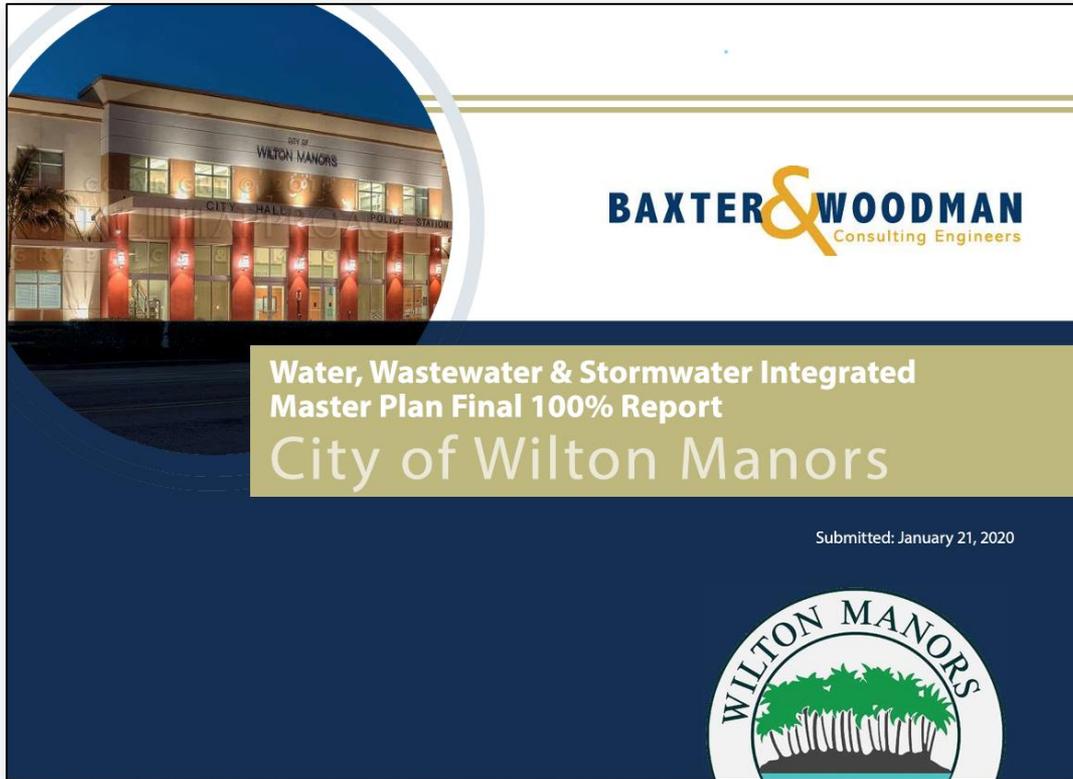
REDUCING I/I = INCREASING THE EXISTING SYSTEM'S HYDRAULIC CAPACITY

SAVINGS

- 1 Reduce Volume Treated at GTL-WWTP – Prevent Expansion Needs including new Injection Well
- 2 Reduce O&M Costs Associated to Pumping Excess Flow (Electrical Cost, Wear & Tear of Pump Stations, etc.)
- 3 Mitigate Dilution Effects & Additional Chemical Usage at GTL-WWTP
- 4 Increase Capacity without Substantial Costs resulting in Economic Growth
- 5 Avoid Regulatory Agency Penalties for Excessive Flow



The Master Plan



- The City's **2020 Water, Wastewater, & Stormwater Integrated Master Plan** completed an assessment of critical infrastructure systems and made recommendations for upgrades, repairs, and replacements of system components and/or facilities
- The City has been implementing these and other maintenance projects
- With the approval of pending Federal WIFIA funding, the City will be able to complete over \$22M of prioritized capital improvement projects in the next 5 years

Pending Development Applications

PENDING DEVELOPMENT APPLICATIONS

Andrews Avenue

Application No.	Project Name	Address	Brief Description	Status
SP 22-04	3058-3064 N. Andrews Avenue (The Ave)	3058-3064 N. Andrews Avenue	Site plan approval for 186 unit multi-family including 12 live work units with 2,400 square feet of commercial use.	Site Plan Expired 1.09.2024.
SP 22-13	2916 Investments LLC (Andrews Avenue Project and adjacent vacant lots with folio numbers: 494227170350, 494227170340, 494227170330, 494227170320, 494227170260, & 494227170250)	2916-2920, 2932, & 2980 N. Andrews Avenue & adjacent vacant lots with folio numbers: 494227170350, 494227170340, 494227170330, 494227170320, 494227170260, & 494227170250.	Site plan for 54 one (1) bedroom multi-family units and 1,700 square feet of commercial use.	DRC meeting held on 1.30.2024. Pending scheduling of DRC Meeting to address outstanding comments. Meeting with applicant on 3.5.2024 to go over resubmittal.

NE 26 Street

Application No.	Project Name	Address	Brief Description	Status
PL 22-03, SP 22-09, VAC 22-02, Z 22-02 & V 23-02	Kaplan Residential	2449 NE 13 Avenue, 2430, NE 13 Avenue, 1209 NE 24 Street, 1225 NE 24 Street, and 1401 NE 24 Street.	Site plan, plat, rezoning, vacation and variance for 190 multi-family units and 9,031 square feet of commercial use.	Vacation, rezoning, plat, allocation of flex units, and agreements approved by City Commission on 1.23.2024. Final approval pending recording of vacation, agreements, and plat approval and recordation by Broward County.
LUPA 22-01& Z 22-01	Stellar (UDC)	1550 NE 26 Street and 2500 NE 15 Avenue.	Land use plan amendment and rezoning for 250 multi-family units including 8 townhouse units and a 1 acre park.	Sewer capacity letter from Fort Lauderdale; withdrawal pending written confirmation from applicant.
Pre-Application	Stellar (UDC)	1550 NE 26 Street and 2500 NE 15 Avenue.	Rezone parcels to B-3 (General Business)	Pre-Application Meeting was held 12.05.2023. Pending submission of DRC application.

Wilton Drive

Application No.	Project Name	Address	Brief Description	Status
SP 22-06, PL 22-01 & V 22-04	Wilma (Shoppes at Wilton Manors)	2200-2292 Wilton Drive	Site plan, plat, and variance for 252 residential units, 24,302 square feet of new commercial use, and a parking garage. The existing building on the east side of the parcel and associated surface parking will be demolished to replace with new building.	Plat, allocation of flex units, and agreements approved by City Commission on 1.23.2024. Final approval pending recording of agreements, and plat approval and recordation by Broward County..

Dixie Highway

Z 23-01, SP 23-03 and PL 23-01	Wilton Hotel	2505 N. Dixie Highway	Rezoning, site plan and plat for an 8 story, 123 key boutique hotel.	Rezoning and site plan approved at 2.12.2024 PZ Meeting. Plat application will be scheduled at a TBD PZ Meeting. The rezoning, site plan, and plat require City Commission. Tentatively scheduled for 3.26.2024.
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Other

Application No.	Project Name	Address	Brief Description	Status
SP 22-10 & V 22-04	57 Wilton Manors	1308 NE 24 Street	Site plan, variance, and allocation of two (2) flexibility units for duplex to be built in TOC with RD-10 zoning.	Scheduled for 3.11.2024 PZ Meeting.
SP 23-01	55 NE 25 Street	55 NE 25 Street	Site plan approval for 3 townhouse units	Pending approval of Declaration of Restrictive Covenants by City Commission.
SP 22-14 & PL 22-04	Wilton Yards	2700 NE 9 Avenue	Site plan and plat approval for 18 townhomes.	Pending approval of Declaration of Restrictive Covenants, allocation of flex and or reserve units, termination of easement agreement, and approval of new easement agreement by City Commission. Tentatively scheduled for 3.12.2024 City Commission meeting.
Pre-Application	2041 NE 9 Avenue	2041 NE 9 Avenue	Six (6) townhouse units	Pre-Application Meeting was held 12.5.2023. Pending submission of DRC application.

2.29.2024



Wilma on the Drive



7-story mixed-use building with 252 multi-family units, 24,430 square feet of new and 30,907 square feet of existing commercial use to remain located at the southeast corner of NE 7 Avenue and Wilton Drive.

Generations at Wilton Manors



The proposed project consists of a 6-story mixed-use building with 190 residential units and approximately 8,500 square feet of commercial use including a 2-story 3,948 square foot free-standing commercial building and a dog park to be located at the northwest corner of NE 24 Street and NE 13 Avenue.

The Wilton Hotel



The proposed project consists of a 123-room, boutique hotel in an 8-story building. The project is located on the southwest corner of Wilton Drive and N. Dixie Highway (Five Points).

Floor Elevations

- All new construction and substantial improvements of buildings are required per Chapter 9 of the City's Code of Ordinances for Flood Prevention and Protection to be constructed with a finished floor elevation of at least two (2) feet above the base elevation. The "finished floor" would be first floor of a house or commercial building. Base elevation is determined based on the FEMA Map in effect at the time of building permit and is expressed in terms of "feet NAVD 88". NAVD 88 is a vertical measurement used by surveyors on fixed positions throughout the North American continent.

Recently Completed Projects

Hagen Park

- Interior painting of the Community Center
- New flooring in the Community Center
- New sound baffles in the meeting room
- New sound panels in the fitness center
- Cultural Center- new brick paved driveway, walkway, and back deck
- Resurfacing of clay and hard tennis courts

Richardson Historic Park

- Installation of native orchids by the Equality Garden Club and Fort Lauderdale Orchid Society
- Newly refurbished outdoor bar at Carriage House

Mickle Park

- Parking space striping and curb painting
- Procurement of new concession equipment
- Installation of sewer flange to solve stoppage issues

Colohatchee Park

- Repair of grass in the Dog Park

Island City Park Preserve

- Painting of the Community Center interior
- New flooring in the Community Center
- Resurfacing of basketball court

Take the Survey! _____

Public Art Policy and Program



Climate Change- The Challenge



- Warming temperatures
- Rising seas
- More extreme and more frequent weather events
- King tides and sunny day flooding

Climate Change

City Actions

- Climate Action Plan:
with Oakland Park
- Greenhouse Gas Inventories:
2015 and 2019
- Sea Level Rise Vulnerability
Assessment
- Stormwater drainage check valves
- New initiative with Oakland Park



Incentives

- Grass swale restoration
- Energy incentives grant
- Naturescape irrigation review
- Low-flow toilet rebate
- Circuit
- Rideshare discounts

Climate Change- What You Can Do _____



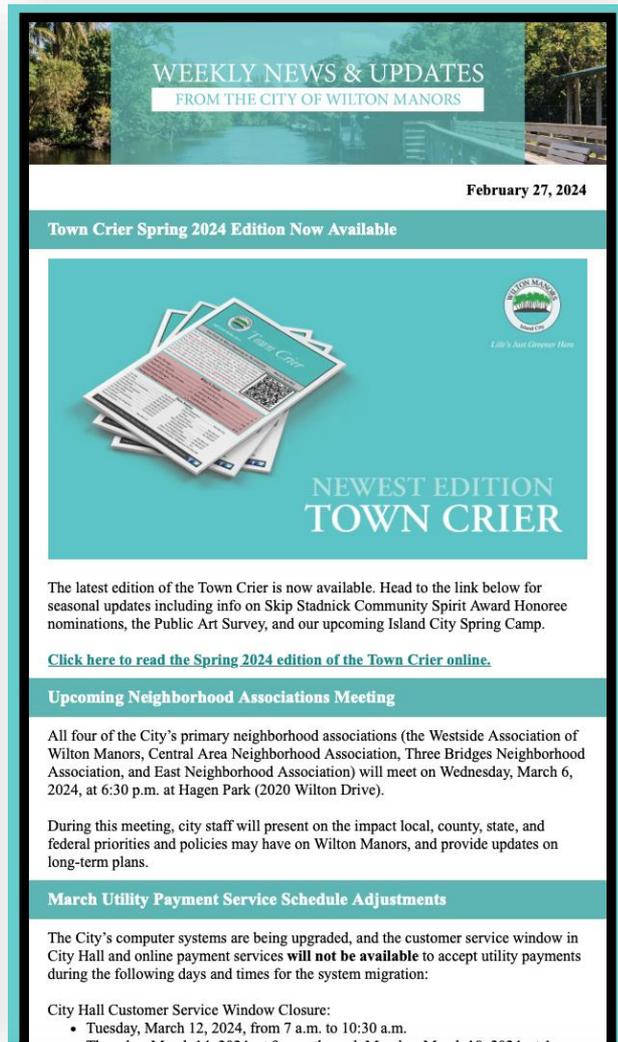
- Retrofit your house with more energy-efficient appliances
- Install solar panels
- Install a low-flow toilet
- Reduce your energy consumption
- Plant more trees
- Restore your swale
- Leave your car at home if traveling around town
- Reuse, repurpose, and recycle
- Compost

Public Safety



- Traffic
- Homeless
- Technology
- Code enforcement
- Community policing
- Emergencies
- Crime statistics

Please Connect With Us!



- Weekly eblast
- Code Red
- Socials
- Town Crier

-  @OfficialWiltonManors
-  @WiltonManorsCty
-  @wiltonmanorsofficial



Life's Just Better Here

Thank You



Life's Just Better Here

