

# 57 WILTON MANORS

1308 NE 24 STREET WILTON MANORS, FL | 33305

PROJECT, ADDRESS AND OWNER:

## 57 WILTON MANORS

1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER

HOME EQUITES VENTURES, LLC  
4111 NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:

 G3sec  
975 Arthur Godfrey rd, suite 401  
miami beach florida 33140  
t 305 783 8471 • admin@g3sec.com  
w www.g3sec.com | #AA26003670

CONSULTING ENGINEERS:

STRUCTURAL ENGINEER

MEP

CIVIL ENGINEER:  
**ZEPHYR ENGINEERING**  
5401 PIERCE ST  
HOLLYWOOD, FL  
1788 302 7693

LEED CONSULTANT:  
**GREEN EARTH**  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1984 638 8625

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

No.	Description	Date

### PERMIT SET

PROJECT No.: 2157  
ISSUE DATE: 11 / 17 / 2021  
REVISIONS: No  
COVER SHEET

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:

**G-0**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.





**GENERAL SITE INFORMATION**

PROPERTY ADDRESS: 1308 NE 24 STREET  
WILTON MANORS, FL | 33305  
PROPERTY ID: 494226020010  
LEGAL DESCRIPTION: LOT 01, MIDDLE RIVER PLAZA 9-52 B LOT 1

**GOVERNING CODES:**

FLORIDA BUILDING CODE 2020  
NFPA 101 - LIFE SAFETY CODE 2018 EDITION  
FLORIDA FIRE PREVENTION CODE 2020  
NEC - 2018 EDITION  
FBC - MECHANICAL 2020  
FBC - PLUMBING 2020  
FBC - ACCESSIBILITY 2020

**SITE ZONING (EXISTING):**

ZONING: RD-10 (TWO-FAMILY DUPLEX RESIDENTIAL) / LAND USE : TRANSIT ORIENTED CORRIDOR

**TOTAL LOT AREA:**

LOT AREA: 6,900 SF = 0.1584 ACRES  
GROSS LOT AREA: 11,822 SF = 0.2713 ACRES

INTENSITY & DIMENSIONAL STANDARDS	REQUIRED	PROPOSED USE	VARIANCE
GROSS DENSITY, MAXIMUM	10 UNITS / GROSS ACRE (DUPLICATION ONLY)	2 UNITS	-
LOT AREA, MINIMUM ( SQ. FT.)	7,500 sq. ft.	6,900 sq. ft.	-
LOT WIDTH, MINIMUM ( FT.)	75 ft.	50 ft. - NONCONFORMING	-
FLOOR AREA, MINIMUM (% OF LOT AREA)	SINGLE-FAMILY: 1,000 sq. ft. PER UNIT DUPLICATION: 600 sq. ft. PER UNIT	1,508 sq ft Per Unit (EXCLUDING GARAGE AND BALCONIES)	-
LOT COVERAGE, MAXIMUM (% OF LOT AREA)	NONE	.28	-
PERVIOUS AREA, MINIMUM (% OF LOT AREA)	50% = 3,450 SF	51% = 3,504 SF	-
IMPERVIOUS PERVIOUS AREA	50% = 3,450 SF	MAIN HOUSE 1,955 SQ.FT. DRIVEWAY 1,440 SQ.FT. 49% = 3,395 SF	-
FLOOR AREA, MAXIMUM (% OF LOT AREA)	N/A	N/A	-
HEIGHT, MAXIMUM ( FT.)	2 STORIES, 30 ft.	2 STORIES, 23' - 4"	-
NORTH FRONT YARD SETBACK MINIMUM (FT)	20 ft.	20 ft.	N/A
WEST FRONT YARD SETBACK MINIMUM (FT)	15 ft.	5 ft.	10 ft. (15-10=5)
SIDE YARDS SETBACK MINIMUM (FT)	5 ft.	5 ft.	N/A
REAR YARD SETBACK MINIMUM (FT)	15 ft.	15 ft.	N/A

**PARKING:**

	REQUIRED	PROVIDED
<b>DWELLING MULTIFAMILY</b>	MINIMUM OFF-STREET PARKING: 2.5 PER DWELLING UNIT = (5) PARKING SPACES  1 ADDITIONAL x EVERY BEDROOM IN EXCESS OF 3 BEDROOMS.	<b>6 REQUIRED = 6 PROPOSED</b>  (6) PARKING SPACES REQUIRED (2) GARAGE PARKING (4) DRIVEWAY PARKING
<b>VISITOR PARKING</b>	10% = (0.5) PARKING SPACES	
<b>BIKE RACKS</b>	NONE	INDIVIDUAL HANGING BIKE RACKS TO BE PROVIDED IN EACH GARAGE UNIT.

**OCCUPANCY CLASSIFICATION:**

OCCUPANCY CLASSIFICATION: GROUP - R  
CONSTRUCTION TYPE: NUMBER OF BEDROOMS IN PROJECT: 4

**SCOPE OF WORK:**

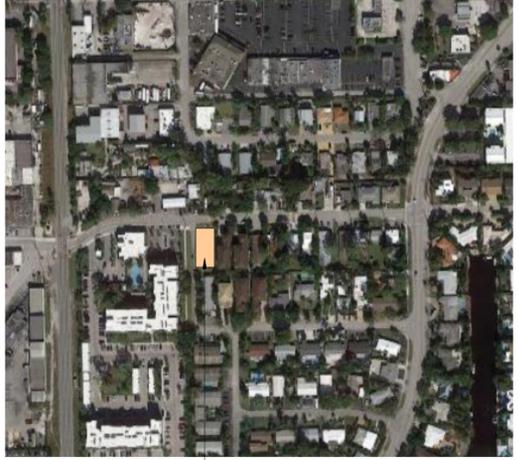
NEW CONSTRUCTION OF MULTI FAMILY RESIDENTIAL DEVELOPMENT

**FLOOD ZONE / BASE FLOOD ELEVATION:**

FLOOD ZONE = ZONE X  
BASE FLOOD ELEVATION = N/A

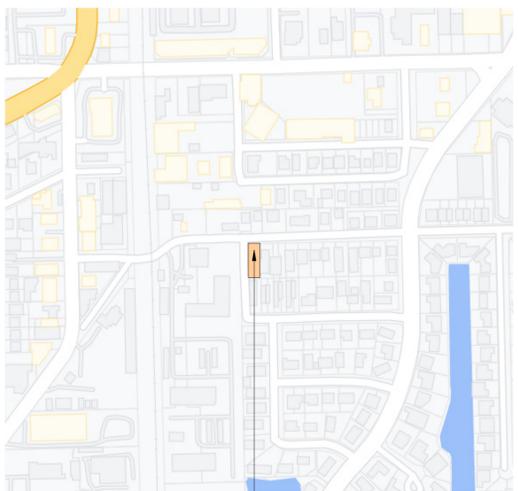
**GREEN TABLE: SUSTAINABILITY POINTS ACCUMULATED 14 POINTS**

- The Electric Vehicle Charging Stations above required # - 2 points for each station installed above the baseline number required by the code. 2 points.**
- Permeable surface for parking and drives - At least 50% of total surface of driveway and parking needs a permeable surface. 4 points.**
- Cool pavement - Provide a surface with an initial solar reflectance 20% higher than the 5-10% reflectance of a dark asphalt parking lot. 4 points.**
- Energy star rating for all appliances / equipment - All appliances / equipment associated with the building are Energy Star rated. 4 points.**



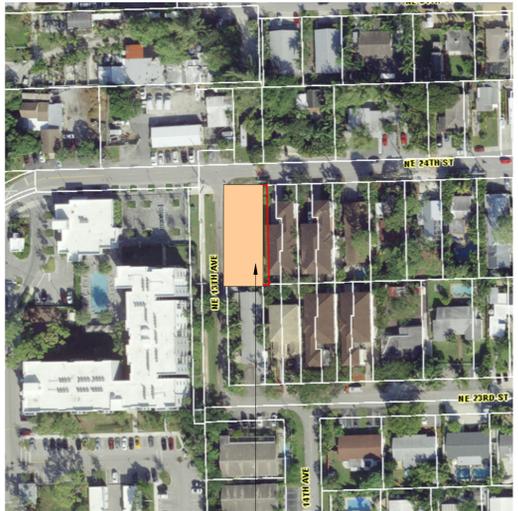
SUBJECT LOCATION  
1308 NE 24 ST  
WILTON MANORS, FL | 33305

**1 AERIAL VIEW**  
N.T.S



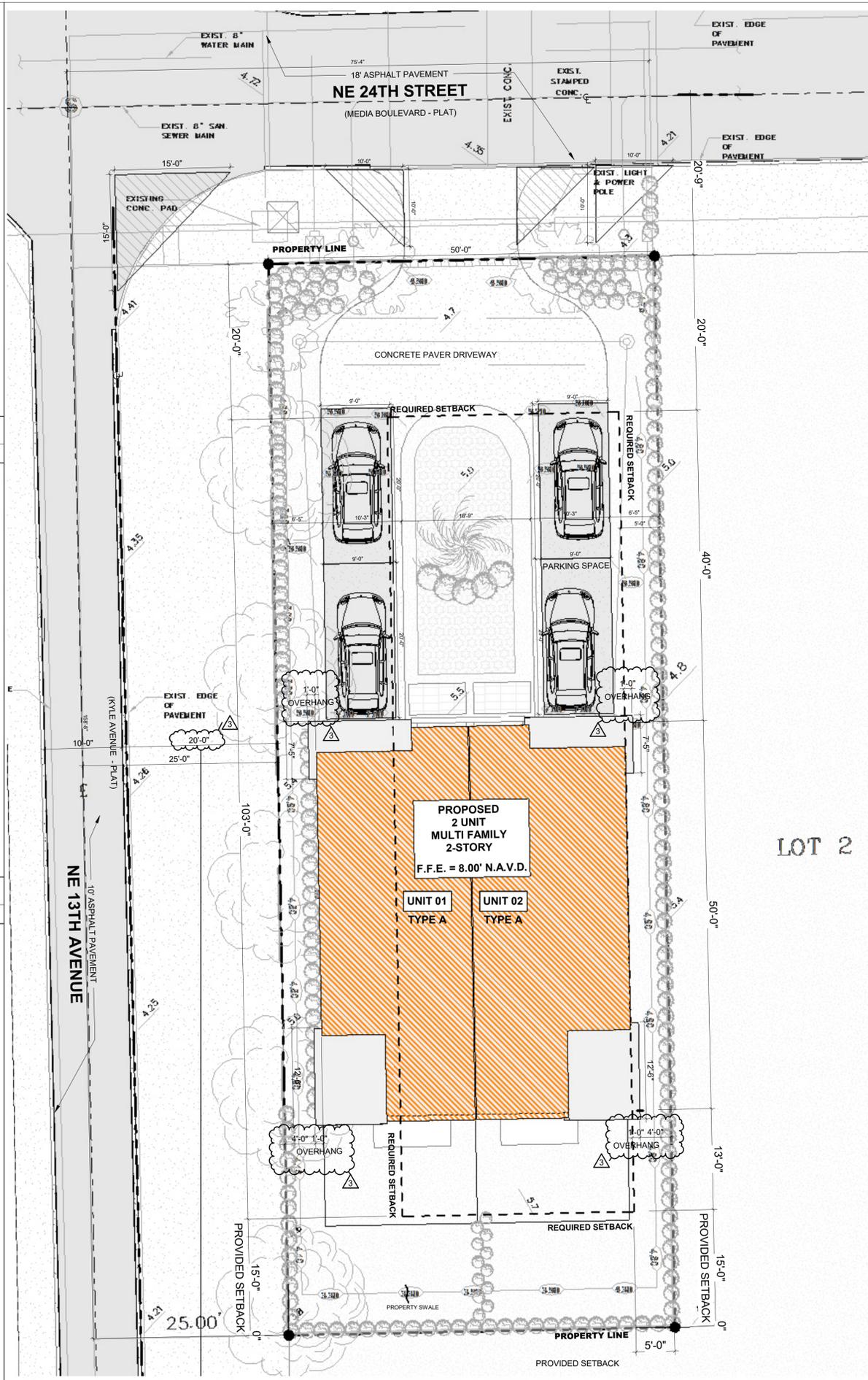
SUBJECT LOCATION  
1308 NE 24 ST  
WILTON MANORS, FL | 33305

**2 LOCATION MAP**  
N.T.S



SUBJECT LOCATION  
1308 NE 24 ST  
WILTON MANORS, FL | 33305

**3 ZONING MAP**  
N.T.S



**4 SITE PLAN**  
SCALE: 1/8" = 1'-0"

PROJECT, ADDRESS AND OWNER:  
**57 WILTON MANORS**  
1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER:  
HOME EQUITES VENTURES, LLC  
4111 NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:  
  
G3ac  
975 Arthur Godfrey rd. suite 401  
miami beach florida 33140  
t 305 763 8471 e admin@g3ac.com  
w www.g3ac.com | #AA26003670

CONSULTING ENGINEERS:  
STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:  
**ZEPHYR ENGINEERING**  
5451 PIERCE ST HOLLYWOOD, FL  
11786 302 7693  
LEED CONSULTANT:  
**GREEN EARTH**  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1954 638 8625

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

1	CITY COMMENTS	01-05-23
2	Revision 2	Date 2
3	City Comments	Date 3

**PERMIT REQUEST**

PROJECT No.: 2157  
ISSUE DATE: 05 / 08 / 2023  
REVISIONS:

**ZONING, SITE PLAN & LOCATION DIAGRAMS**

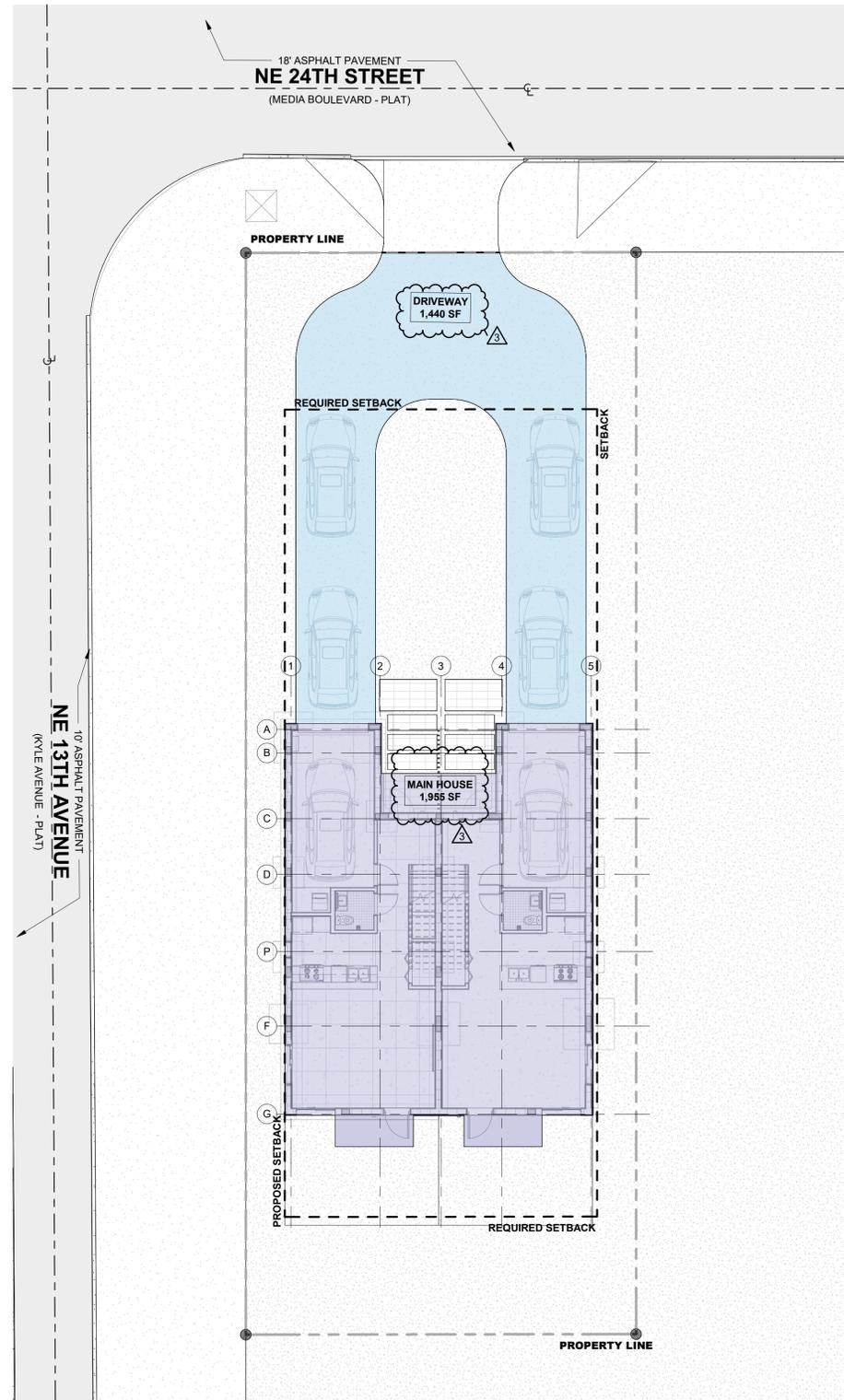
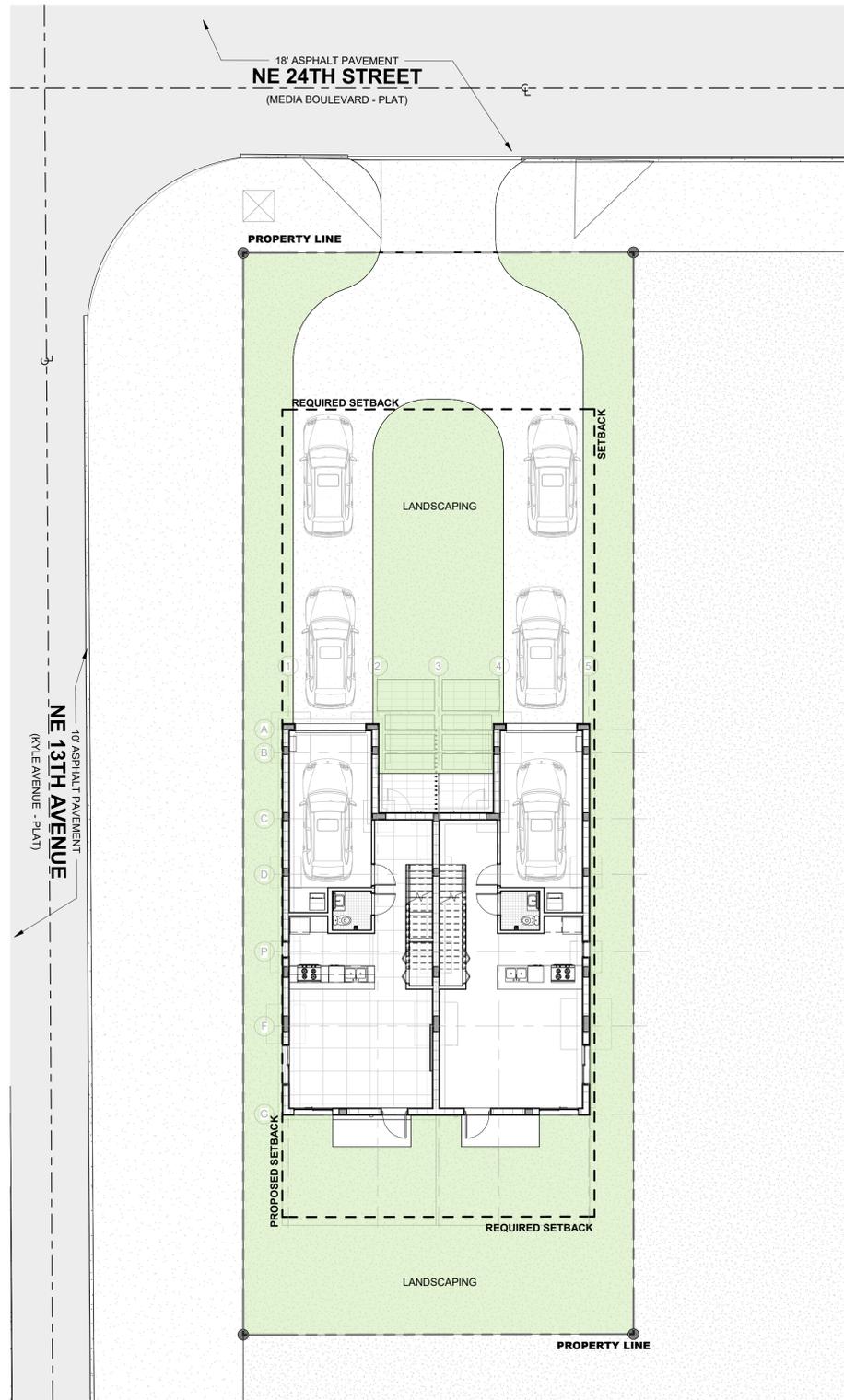
SCALE: As indicated

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:  
  
SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.: **G-2**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



PROJECT, ADDRESS AND OWNER:

**57 WILTON MANORS**

1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER

HOME EQUITES VENTURES, LLC  
4111 NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:



CONSULTING ENGINEERS:  
STRUCTURAL ENGINEER

MEP

CIVIL ENGINEER:  
**ZEPHYR ENGINEERING**  
5451 PIERCE ST HOLLYWOOD, FL

1788 302 7693

LEED CONSULTANT:  
**GREEN EARTH**  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1984 638 9625

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

Revision	Date
2 Revision 2	Date 2
3 City Comments	Date 3

**PERMIT REQUEST**

PROJECT No.: 2157

ISSUE DATE: 05 / 08 / 2023

REVISIONS: No

AREA DIAGRAMS

SCALE: 1" = 10'-0"

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

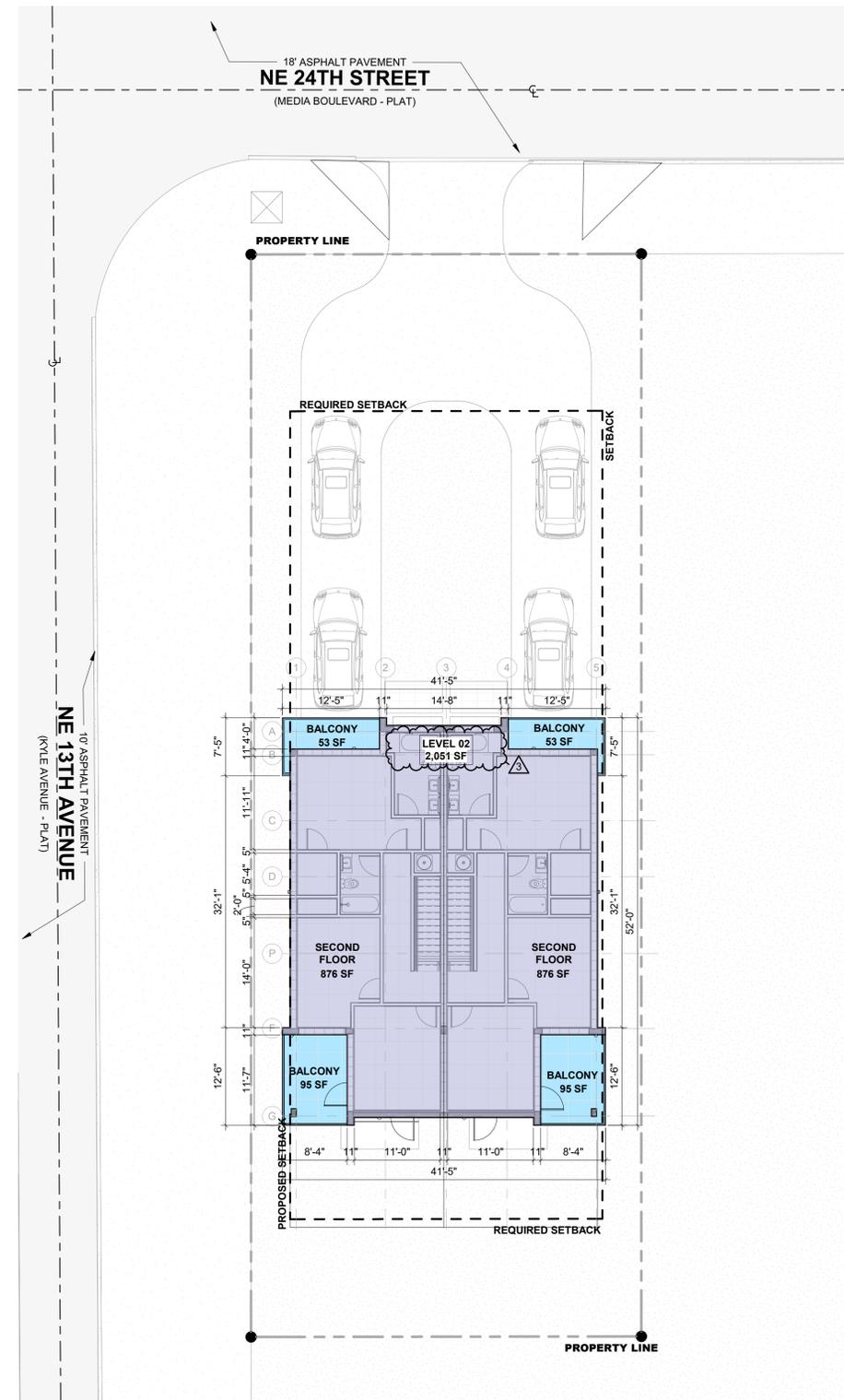
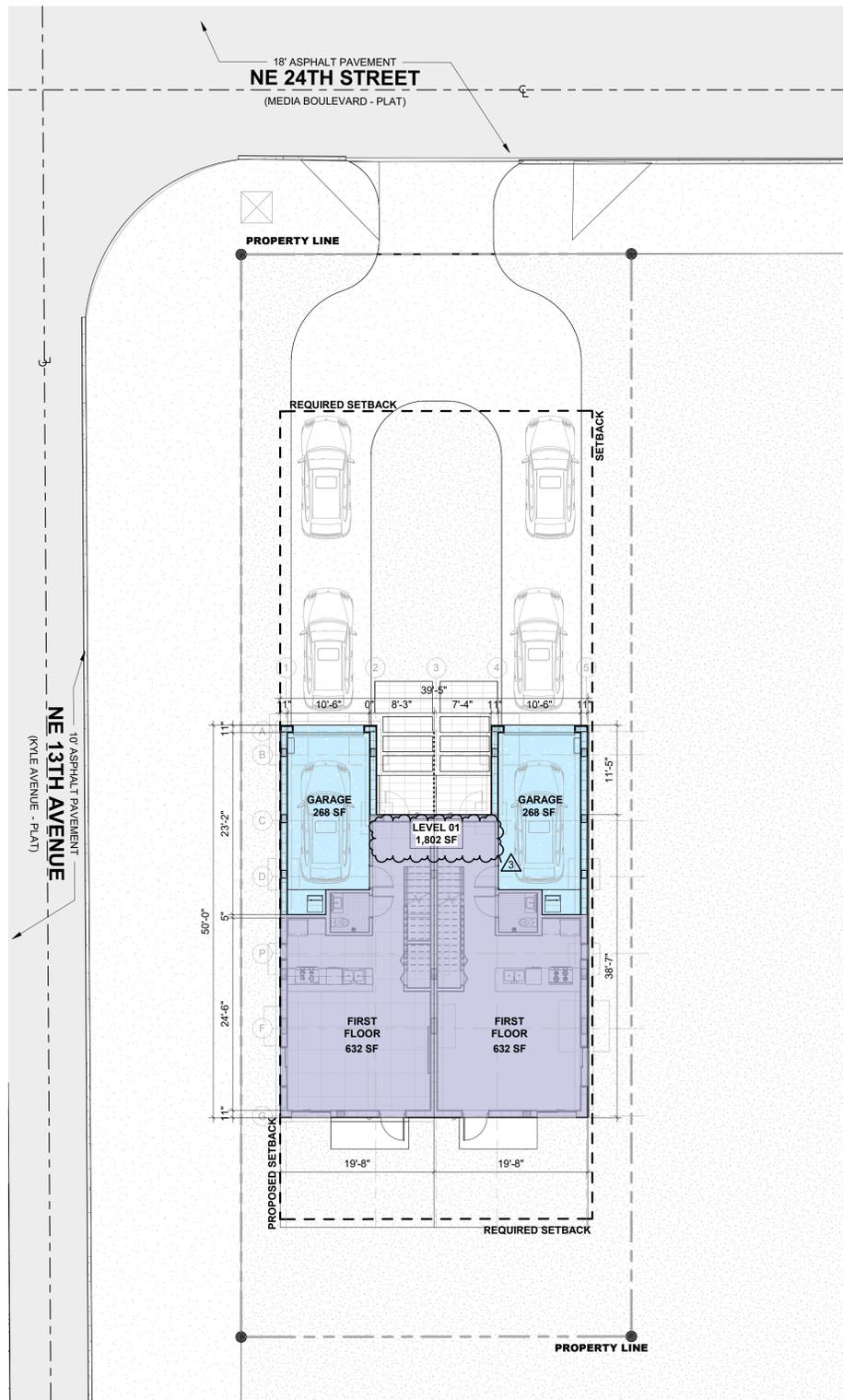
SHEET No.:

**G-3**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

AREA CALCULATIONS	ALLOWED	PROVIDED
	50% = 3,450 sq. ft.	PERVIOUS AREA 3,504 SQ.FT.
	<b>1</b> PERVIOUS DIAGRAM SCALE: 1" = 10'-0"	

AREA CALCULATIONS	ALLOWED	PROVIDED									
		<div style="border: 1px dashed black; padding: 5px;"> <table border="0"> <tr> <td>MAIN HOUSE</td> <td>1,955 SQ.FT.</td> </tr> <tr> <td>DRIVEWAY</td> <td>1,440 SQ.FT.</td> </tr> <tr> <td>SIDEWALK (NOT CONCRETE)</td> <td>N/A</td> </tr> <tr> <td><b>TOTAL AREA PROVIDED</b></td> <td><b>3,395 SQ.FT.</b></td> </tr> <tr> <td>VARIANCE REQUESTED FOR</td> <td>N/A</td> </tr> </table> </div>	MAIN HOUSE	1,955 SQ.FT.	DRIVEWAY	1,440 SQ.FT.	SIDEWALK (NOT CONCRETE)	N/A	<b>TOTAL AREA PROVIDED</b>	<b>3,395 SQ.FT.</b>	VARIANCE REQUESTED FOR
MAIN HOUSE	1,955 SQ.FT.										
DRIVEWAY	1,440 SQ.FT.										
SIDEWALK (NOT CONCRETE)	N/A										
<b>TOTAL AREA PROVIDED</b>	<b>3,395 SQ.FT.</b>										
VARIANCE REQUESTED FOR	N/A										
	<b>2</b> IMPERVIOUS AREA DIAGRAM SCALE: 1" = 10'-0"										



PROJECT, ADDRESS AND OWNER:  
**57 WILTON MANORS**  
 1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER  
 HOME EQUITUS VENTURES, LLC  
 4111 NW 17 AVE  
 OAKLAND PARK, FL

ARCHITECT:  
 G3sec  
 975 Arthur Godfrey rd, suite 401  
 miami beach florida 33140  
 t 305 753 8471 e admin@g3sec.com  
 w www.g3sec.com | #AA26003670

CONSULTING ENGINEERS:  
 STRUCTURAL ENGINEER:  
 MEP:  
 CIVIL ENGINEER:  
**ZEPHYR ENGINEERING**  
 5451 PIERCE ST HOLLYWOOD, FL  
 1 | 7706 302 7693  
 LEED CONSULTANT:  
**GREEN EARTH**  
 LANDSCAPE ARCHITECTURE  
 HOLLYWOOD, FL  
 1 | 954 638 9825

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	///
Fire Prev.	///
Planning	///
Zoning	///
Building	///
Structural	///
Electrical	///
Plumbing	///
Mech.	///
S. Waste	///

REVISIONS:

3	City Comments	Date 3

**PERMIT REQUEST**

PROJECT No.: 2157  
 ISSUE DATE: 05 / 08 / 2023  
 REVISIONS:

AREA DIAGRAMS

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



SIGNATURE:  
**ARTURO G. GRIEGO, AIA**  
 AR94011

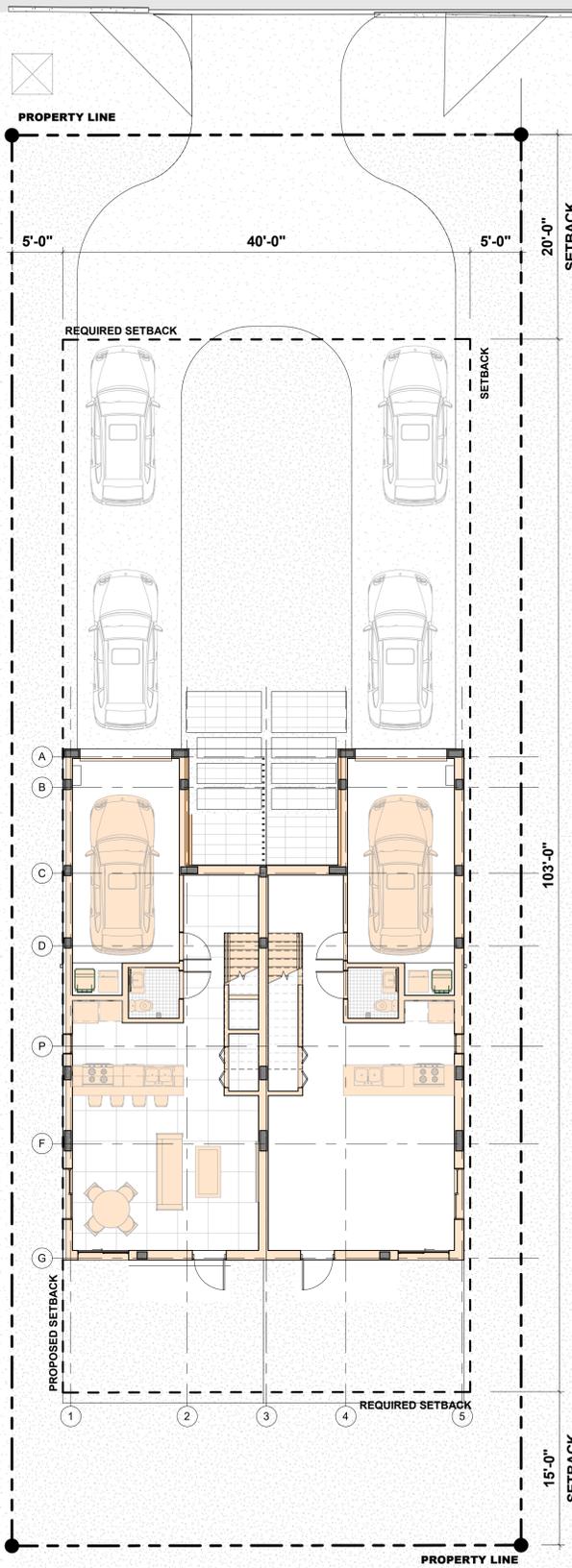
SHEET No.:  
**G-4**

AREA CALCULATIONS	ALLOWED	PROVIDED			
		AREA PER UNIT			
		LEVEL 01	632 SQ.FT.	GARAGE AREA	268 SQ.FT.
		LEVEL 02	876 SQ.FT.	BALCONIES AREA	296 SQ.FT.
		TOTAL UNIT FLOOR AREA	1,508 SQ.FT.		
		TOTAL GROSS AREA / UNIT	2,072 SQ.FT.		
	<b>1</b>	<b>FLOOR AREA LEVEL 01</b>			
		SCALE: 1" = 10'-0"			

AREA CALCULATIONS	ALLOWED	PROVIDED			
		AREA PER UNIT			
		LEVEL 01	632 SQ.FT.	GARAGE AREA	268 SQ.FT.
		LEVEL 02	876 SQ.FT.	BALCONIES AREA	296 SQ.FT.
		TOTAL UNIT FLOOR AREA	1,508 SQ.FT.		
		TOTAL GROSS AREA / UNIT	2,072 SQ.FT.		
	<b>2</b>	<b>FLOOR AREA LEVEL 02</b>			
		SCALE: 1" = 10'-0"			

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

NE 24TH STREET  
(MEDIA BOULEVARD - PLAT)

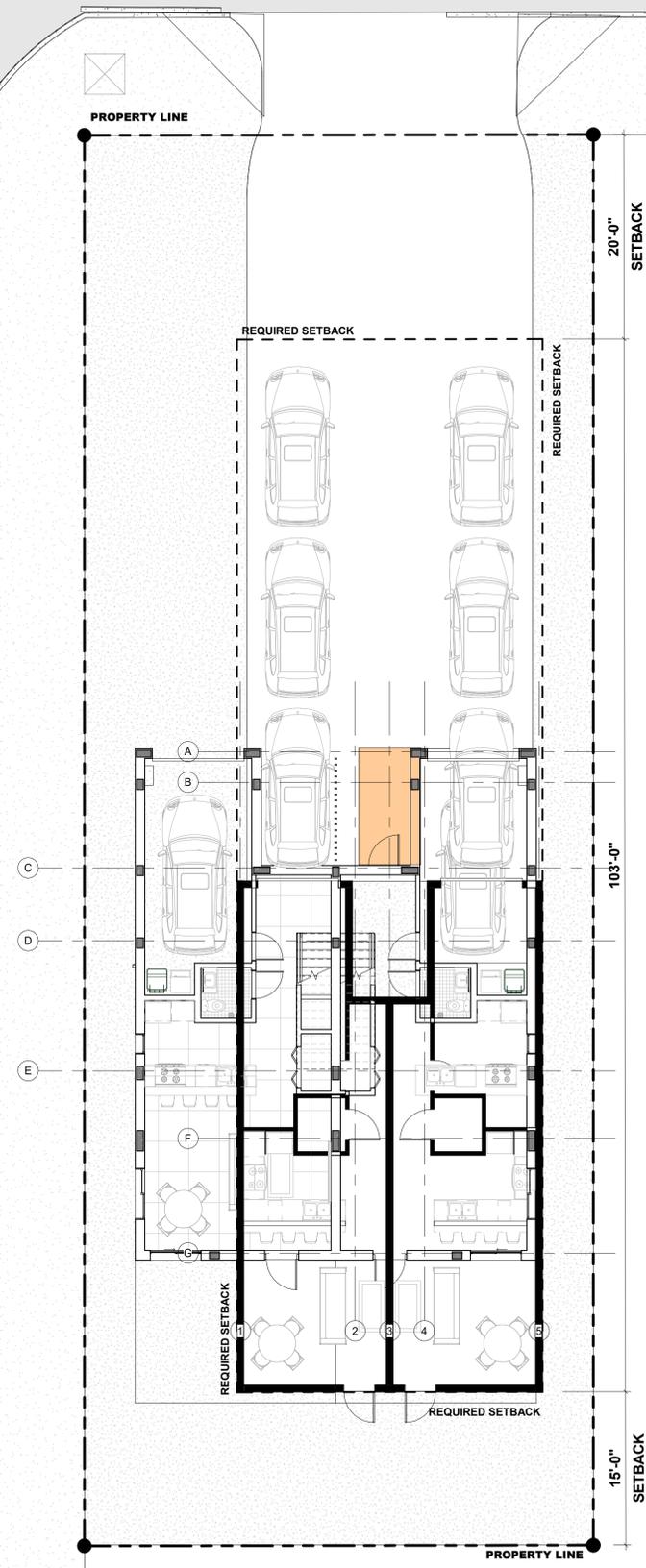


NE 13TH AVENUE

**1** LEVEL 01 +0'-0" - W/Variance - Design OP 1

SCALE: 1/8" = 1'-0"

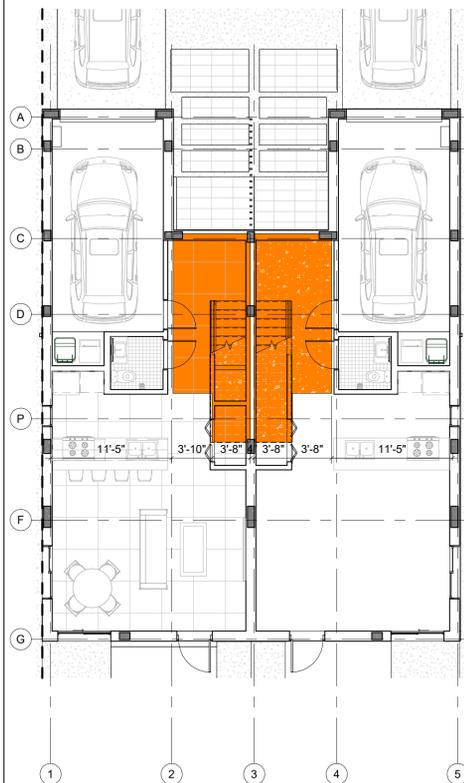
NE 24TH STREET  
(MEDIA BOULEVARD - PLAT)



NE 13TH AVENUE

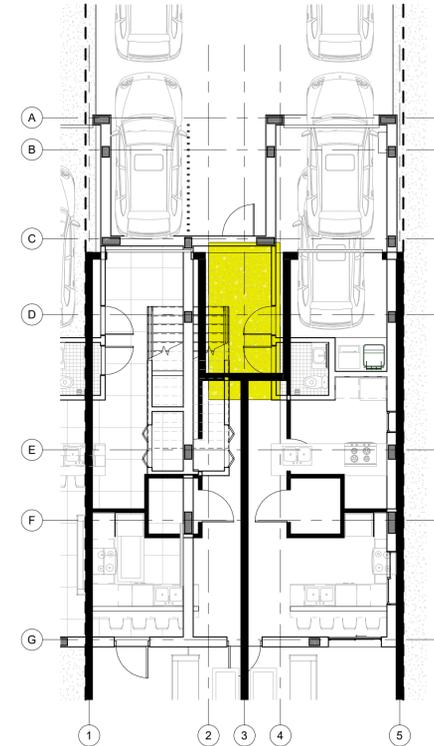
**4** LEVEL 01 +0'-0" - Wout/Variance - Design OP 2

SCALE: 1/8" = 1'-0"



**3** HALLWAY - WITH VARIANCE

SCALE: 1/8" = 1'-0"



**6** HALLWAY - WITHOUT VARIANCE

SCALE: 1/8" = 1'-0"

PROJECT, ADDRESS AND OWNER:

**57 WILTON MANORS**

1308 NE 24 STREET WILTON MANORS, FL 33305

OWNER

HOME EQUITES VENTURES, LLC  
4111 NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:



CONSULTING ENGINEERS:  
STRUCTURAL ENGINEER

MEP

CIVIL ENGINEER:  
**ZEPHYR ENGINEERING**  
5451 PIERCE ST HOLLYWOOD, FL

1788 302 7693

LEED CONSULTANT:  
**GREEN EARTH**  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1964 638 9623

Reviewed for CODE COMPLIANCE

	Signature	Date
P. Works		///
Fire Prev.		///
Planning		///
Zoning		///
Building		///
Structural		///
Electrical		///
Plumbing		///
Mech.		///
S. Waste		///

REVISIONS:

No.	Description

**PERMIT REQUEST**

PROJECT No.: 2157  
ISSUE DATE: 05 / 08 / 2023  
REVISIONS: No  
VARIANCE

SCALE: 1/8" = 1'-0"

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:

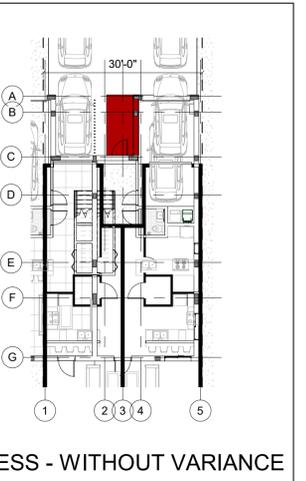
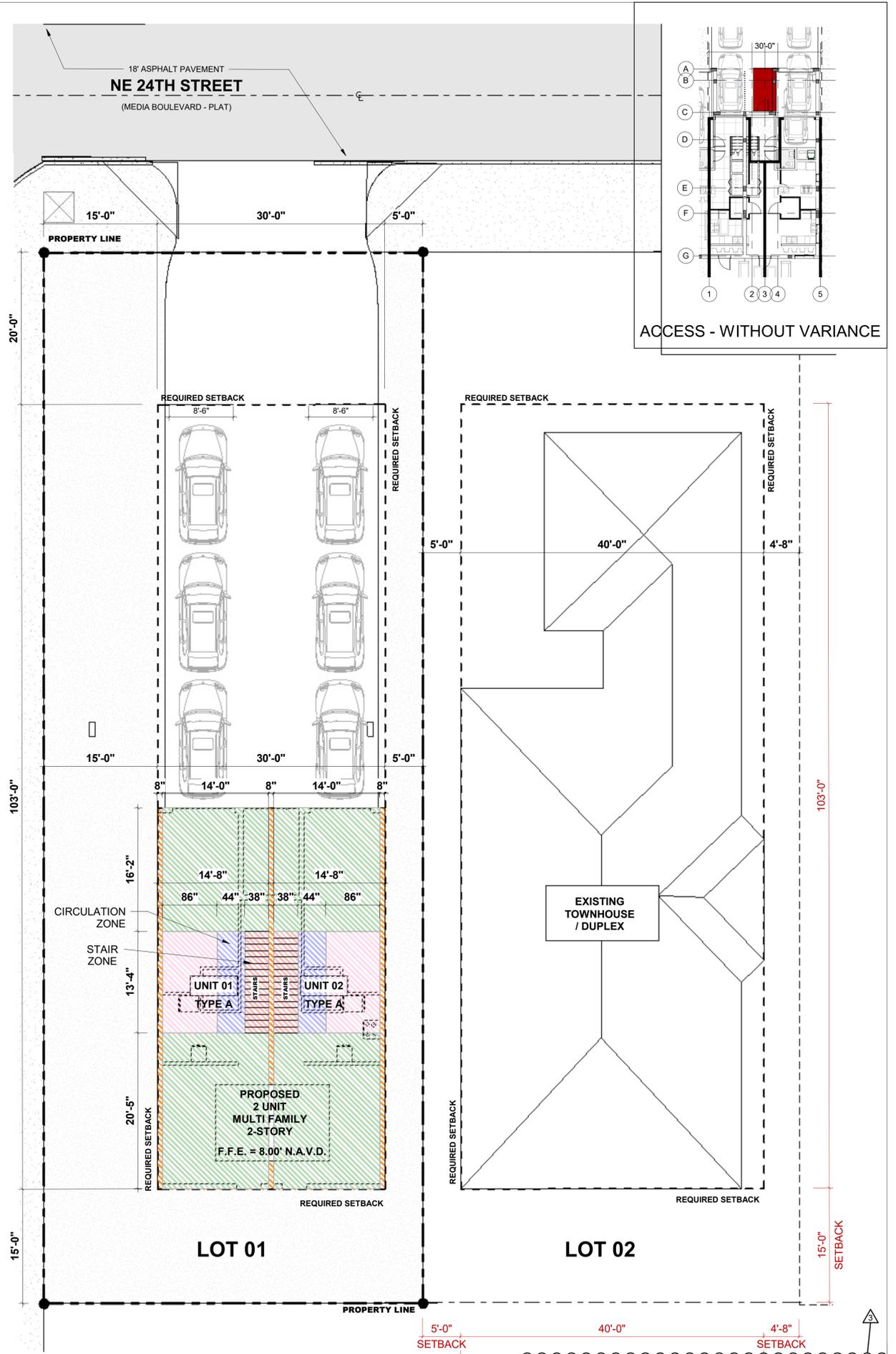
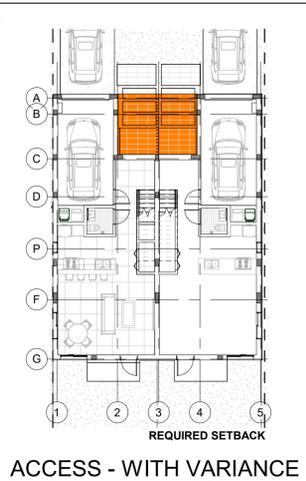
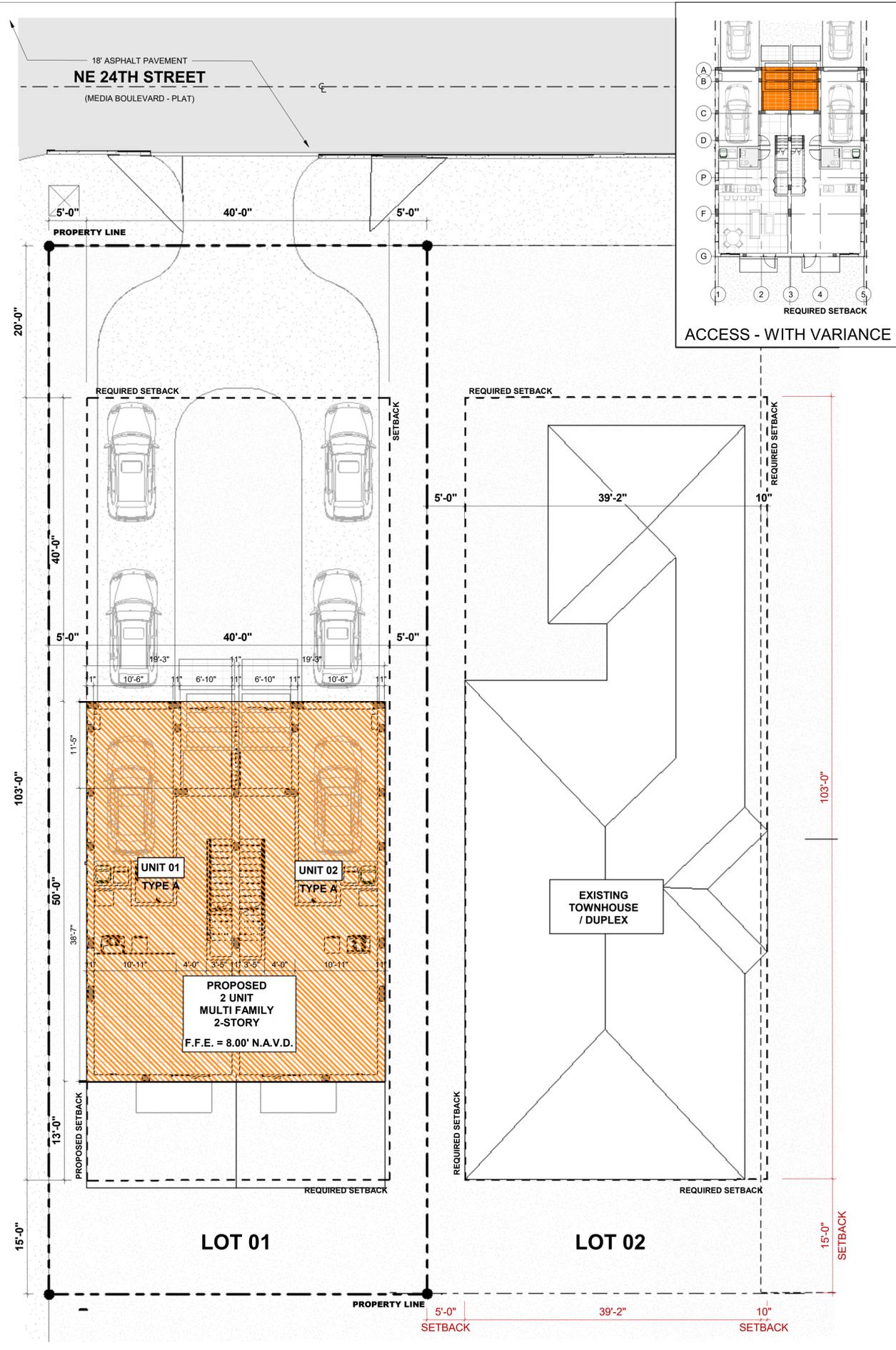


SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:

**G-6**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



**1** SITE PLAN - WITH VARIANCE  
SCALE: 1/8" = 1'-0"

**2** SITE PLAN - WITHOUT VARIANCE  
SCALE: 1/8" = 1'-0"

PROJECT, ADDRESS AND OWNER:  
**57 WILTON MANORS**  
1308 NE 24 STREET WILTON MANORS, FL 33305

OWNER:  
HOME EQUITES VENTURES, LLC  
4111 NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:  
G3sec  
975 Arthur Godfrey rd, suite 401  
miami beach florida 33140  
t 305 753 8471 e admin@g3sec.com  
w www.g3sec.com | #AA26003670

CONSULTING ENGINEERS:  
STRUCTURAL ENGINEER:  
MEP:  
CIVIL ENGINEER:  
**ZEPHYR ENGINEERING**  
5451 PIERCE ST HOLLYWOOD, FL  
1 788 302 7693  
LEED CONSULTANT:  
**GREEN EARTH**  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1 954 638 9623

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	///
Fire Prev.	///
Planning	///
Zoning	///
Building	///
Structural	///
Electrical	///
Plumbing	///
Mech.	///
S. Waste	///

REVISIONS:

No.	City Comments	Date
3	City Comments	Date 3

**PERMIT REQUEST**

PROJECT No.: 2157  
ISSUE DATE: 05 / 08 / 2023  
REVISIONS: No  
VARIANCE DIAGRAMS

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:  
  
SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:  
**G-7**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

**GENERAL SITE INFORMATION**

PROPERTY ADDRESS: 1308 NE 24 STREET  
WILTON MANORS, FL | 33305  
PROPERTY ID: 494226020010  
LEGAL DESCRIPTION: LOT 01, MIDDLE RIVER PLAZA 9-52 B LOT 1

**GOVERNING CODES:**

FLORIDA BUILDING CODE 2020  
NFPA 101 - LIFE SAFETY CODE 2018 EDITION  
FLORIDA FIRE PREVENTION CODE 2020  
NEC - 2018 EDITION  
FBC - MECHANICAL 2020  
FBC - PLUMBING 2020  
FBC - ACCESSIBILITY 2020

**SITE ZONING (EXISTING):**

ZONING: RD-10 (TWO-FAMILY DUPLEX RESIDENTIAL) / LAND USE : TRANSIT ORIENTED CORRIDOR

**TOTAL LOT AREA:**

LOT AREA: 6,900 SF = 0.1584 ACRES  
GROSS LOT AREA: 11,822 SF = 0.2713 ACRES

INTENSITY & DIMENTIONAL STANDARDS	REQUIRED	PROPOSED USE	VARIANCE
GROSS DENSITY, MAXIMUM	10 UNITS / GROSS ACRE (DUPLEX ONLY)	2 UNITS	-
LOT AREA, MINIMUM ( SQ. FT.)	7,500 sq. ft.	6,900 sq. ft.	-
LOT WIDTH, MINIMUM ( FT.)	75 ft.	50 ft. - NONCONFORMING	-
FLOOR AREA, MINIMUM (% OF LOT AREA)	SINGLE-FAMILY: 1,000 sq. ft. DUPLEX: 600 sq. ft. PER UNIT	1,508 sq ft Per Unit (EXCLUDING GARAGE AND BALCONIES)	-
LOT COVERAGE, MAXIMUM (% OF LOT AREA)	NONE	.28	-
PERVIOUS AREA, MINIMUM (% OF LOT AREA)	50% = 3,450 SF	51% = 3,504 SF	-
IMPERVIOUS PERVIOUS AREA	50% = 3,450 SF	MAIN HOUSE 1,955 SQ.FT. DRIVEWAY 1,440 SQ.FT. 49% = 3,395 SF	-
FLOOR AREA, MAXIMUM (% OF LOT AREA)	N/A	N/A	-
HEIGHT, MAXIMUM ( FT.)	2 STORIES, 30 ft.	2 STORIES, 23' - 4"	-
NORTH FRONT YARD SETBACK MINIMUM (FT)	20 ft.	20 ft.	N/A
WEST FRONT YARD SETBACK MINIMUM (FT)	15 ft.	5 ft.	10 ft. (15-10=5)
SIDE YARDS SETBACK MINIMUM (FT)	5 ft.	5 ft.	N/A
REAR YARD SETBACK MINIMUM (FT)	15 ft.	15 ft.	N/A

PARKING:	REQUIRED	PROVIDED
DWELLING MULTIFAMILY	MINIMUM OFF-STREET PARKING: 2.5 PER DWELLING UNIT = (5) PARKING SPACES  1 ADDITIONAL x EVERY BEDROOM IN EXCESS OF 3 BEDROOMS.	6 REQUIRED = 6 PROPOSED  (6) PARKING SPACES REQUIRED  (2) GARAGE PARKING (4) DRIVEWAY PARKING
VISITOR PARKING	10% = (0.5) PARKING SPACES	
BIKE RACKS	NONE	INDIVIDUAL HANGING BIKE RACKS TO BE PROVIDED IN EACH GARAGE UNIT.

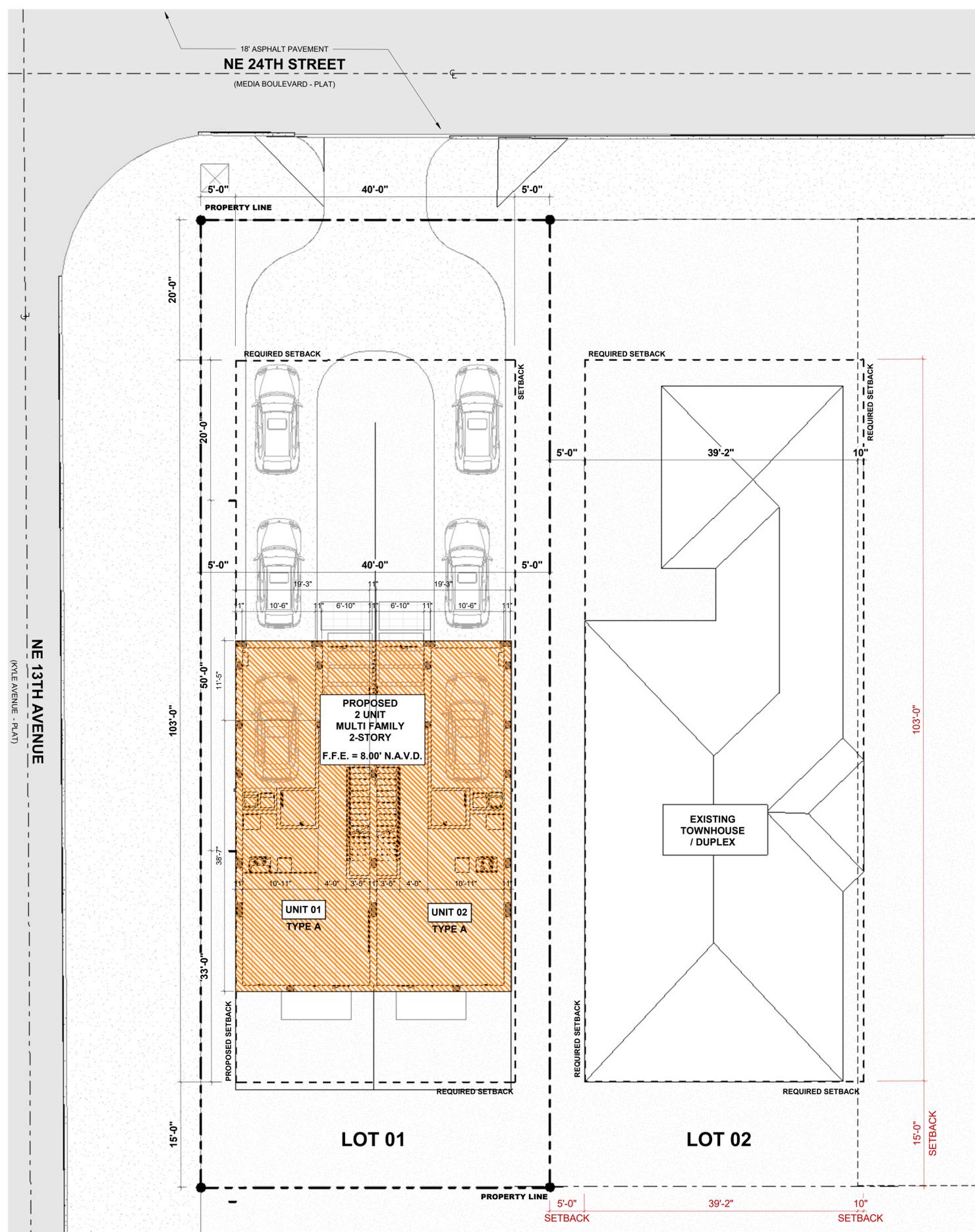
OCCUPANCY CLASSIFICATION:	BEDROOMS PROPOSED
OCCUPANCY CLASSIFICATION: GROUP - R CONSTRUCTION TYPE:	NUMBER OF BEDROOMS IN PROJECT: 4

**SCOPE OF WORK:**  
NEW CONSTRUCTION OF MULTI FAMILY RESIDENTIAL DEVELOPMENT

**FLOOD ZONE / BASE FLOOD ELEVATION:**  
FLOOD ZONE = ZONE X  
BASE FLOOD ELEVATION = N/A

**GREEN TABLE: SUSTAINABILITY POINTS ACCUMULATED 14 POINTS**

- The Electric Vehicle Charging Stations above required # - 2 points** for each station installed above the baseline number required by the code. 2 points.
- Permeable surface for parking and drives** - At least 50% of total surface of driveway and parking needs a permeable surface. 4 points.
- Cool pavement** - Provide a surface with an initial solar reflectance 20% higher than the 5-10% reflectance of a dark asphalt parking lot. 4 points.
- Energy star rating for all appliances / equipment** - All appliances / equipment associated with the building are Energy Star rated. 4 points.



PROJECT, ADDRESS AND OWNER:

**57 WILTON MANORS**

1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER:

HOME EQUITES VENTURES, LLC  
4111 NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:



CONSULTING ENGINEERS:

- STRUCTURAL ENGINEER:
- MEP:
- CIVIL ENGINEER:  
ZEPHYR ENGINEERING  
5451 PIERCE ST HOLLYWOOD, FL  
1 788 302 7693
- LEED CONSULTANT:  
GREEN EARTH  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1 954 638 9625

**Reviewed for CODE COMPLIANCE**

Signature	Date
P. Works	///
Fire Prev.	///
Planning	///
Zoning	///
Building	///
Structural	///
Electrical	///
Plumbing	///
Mech.	///
S. Waste	///

**REVISIONS:**

3	City Comments	Date 3

**PERMIT REQUEST**

PROJECT No.: 2157  
ISSUE DATE: 05 / 08 / 2023  
REVISIONS: No  
VARIANCE

SCALE: As indicated

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:

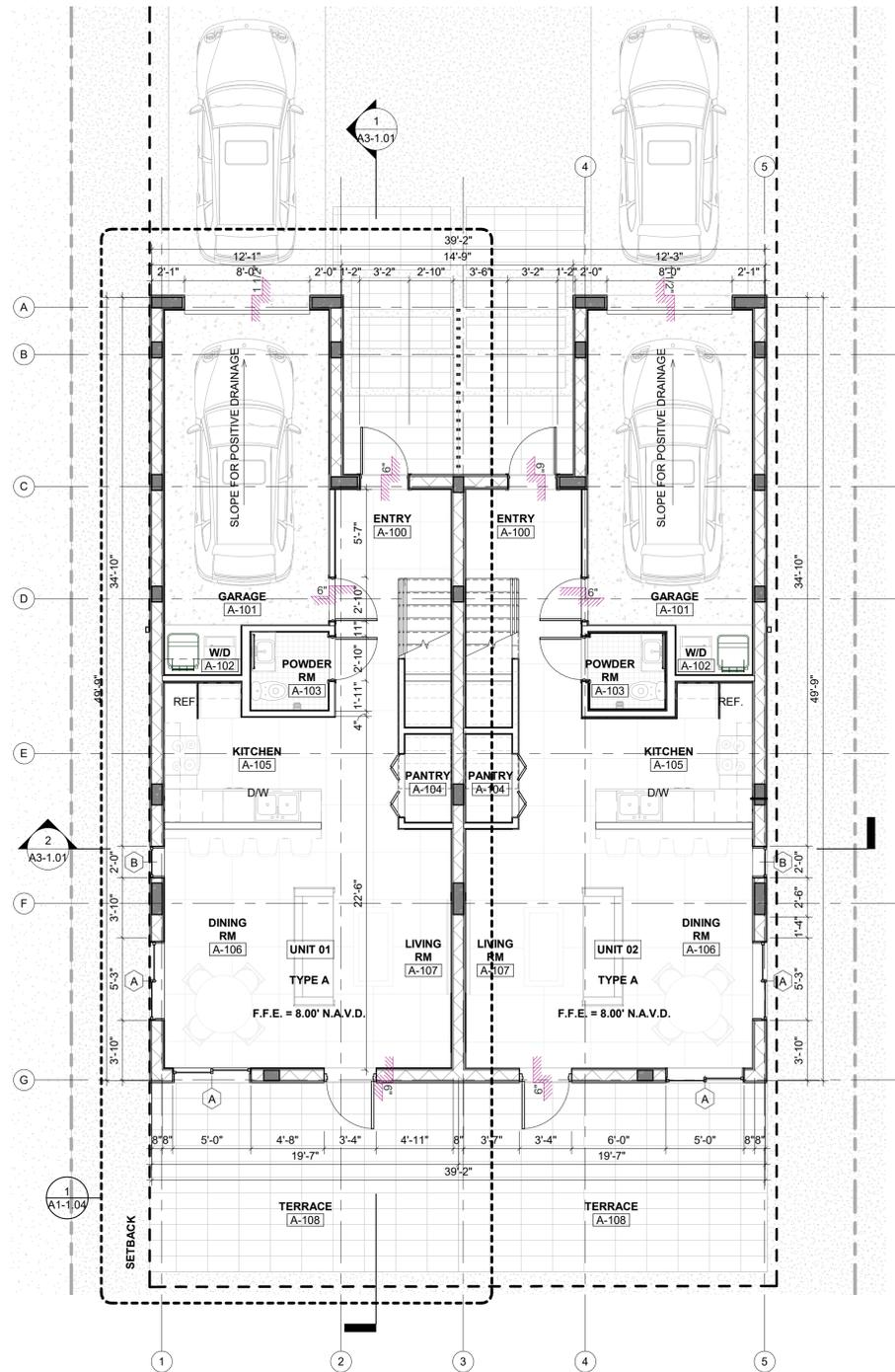


SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

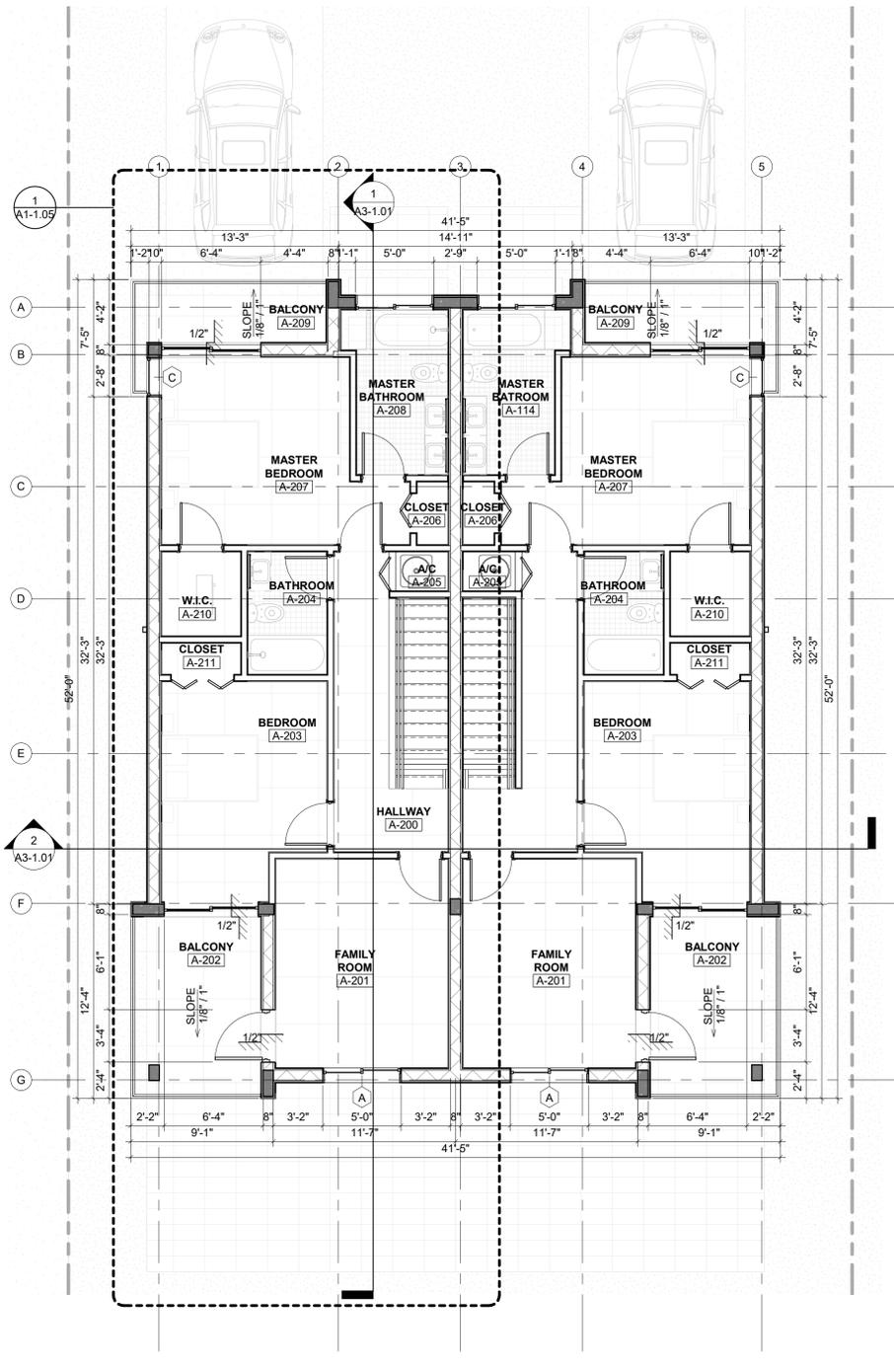
SHEET No.:

**G-8**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



**1** LEVEL 01 +0'-0"  
SCALE: 3/16" = 1'-0"



**2** LEVEL 02 +18'-0"  
SCALE: 3/16" = 1'-0"

**WALL LEGEND**

- 1 [Symbol] TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
  - 2 [Symbol] EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.
  - 3 [Symbol] TYPICAL 4" INTERIOR PARTITION NON-RATED.
  - 4 [Symbol] REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.
  - 5 [Symbol] UNIT DEMISING PARTITION 1 HR FIRE RATED.
- SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS

**CONSTRUCTION NOTES**

1. REFER TO DRAWINGS G-2 ADDITIONAL NOTES AND SPECIFICATIONS.
2. GENERAL CONTRACTOR SHALL VISIT THE JOBSITE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND THE GENERAL SCOPE OF WORK. ANY EXISTING ITEMS AND/OR CONDITIONS NOT SHOWN ON THESE DRAWINGS OR THOSE THAT FOLLOW AND/OR ARE INFERABLE AND NECESSARY TO BE REMOVED OR MODIFIED, SHALL BE DONE SO WITHOUT ANY ADDITIONAL TIME AND/OR EXPENSE TO THIS CONTRACT.
3. ANY DISCREPANCY IN THE CONTRACT DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF ARCHITECT, FAILURE TO DO SO MAY RESULT IN REDO OF FINISHED WORK THAT DOES NOT ADHERE TO THE INTENT OF THE CONTRACT DOCUMENTS.
4. DO NOT SCALE THE DRAWING. USED FIGURED DIMENSIONS ONLY. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES ON THE DRAWINGS.
5. GENERAL CONTRACTOR SHALL COORDINATE ARCHITECTURAL DRAWINGS WITH MECHANICAL, ELECTRICAL, PLUMBING AND SPRINKLER DRAWINGS.
6. ALL WORK SHALL BE EXECUTED IN A CLASS 'A' MANNER AND SHALL NOT BE SIGNED OFF UNTIL ACCEPTABLE TO OWNER.
7. ALL INTERIOR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES IN PLACE IN THE LOCATION OF WORK. CORRIDORS AND ALL OTHER CLEARANCES SHOULD BE CHECKED WITH ARCHITECT PRIOR TO THE FABRICATION OF ANY WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING SAME AT HIS OWN EXPENSE.
8. ALL ROUGH CARPENTRY WOODWORK SHALL BE TREATED FOR FIRE RETARDATION WITH U.L. APPROVED MATERIAL. FLAME SPREAD RATING NOT TO EXCEED 25.
9. CONTRACTOR SHALL FURNISH AND INSTALL NEW ACCESS DOORS WHEREVER REQUIRED FOR PLUMBING, ELECTRICAL, HVAC, SPRINKLER, ETC. SYSTEMS FOR WORK ACCESS AND MAINTENANCE.
10. NEW WALLS ARE DIMENSIONED TO THE FINISH FACE OF WALL THICKNESS UNLESS OTHERWISE NOTED. ALL GYPSUM BOARD TO BE 5/8" THK, TYPE 'X', UNLESS OTHERWISE NOTED. GREEN BOARD TO BE USED IN TOILETS WHERE PAINT IS USED AND DUROCK IN TOILETS WHERE TILE IS USED.
11. ALL THERMAFIBER SOUND ATTENUATING BLANKETS SHALL BE A MINIMUM OF 2" THK FOR 2 1/2" STUDS, 4" THK FOR 3 5/8" & 4" STUDS AND 6" THK FOR 6" STUDS UNLESS OTHERWISE NOTED.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN UP OF THE ENTIRE PREMISES. TO INCLUDE, BUT NOT LIMITED TO, FLOORS, MILLWORK, FIXTURES, ETC. FOLLOWING THE INSTALLATION OF MILLWORK, TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE.
13. G.C TO SUPPLY AND INSTALL 3/4" F.R. BLOCKING OR APPROVED METAL FLAT STOCK BEHIND ALL GYP. BRD. WALLS, WITH MILLWORK, G.C. SHALL COORDINATE WITH MILLWORKER FOR REQUIRED LOCATIONS & ADEQUANCY OF BLOCKING REQUIREMENTS AND PROVIDE ALL SUCH BLOCKING PRIOR TO CLOSING UP ANY AND ALL WALLS, COLUMNS, ETC. TO MEET SUCH REQUIREMENTS, SEE MILLWORK SHOP DRAWINGS FOR ALL FIXTURE INFORMATION.

PROJECT, ADDRESS AND OWNER:

**57 WILTON MANORS**

1308 NE 24 STREET WILTON MANORS, FL 33305

OWNER

HOME EQUITES VENTURES, LLC  
4111 NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER

MEP

CIVIL ENGINEER:

ZEPHYR ENGINEERING  
5401 PIERCE ST  
HOLLYWOOD, FL  
1788 302 7693

LEED CONSULTANT:

GREEN EARTH  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1364 638 9623

Reviewed for CODE COMPLIANCE

	Signature	Date
P. Works	_____	___/___/___
Fire Prev.	_____	___/___/___
Planning	_____	___/___/___
Zoning	_____	___/___/___
Building	_____	___/___/___
Structural	_____	___/___/___
Electrical	_____	___/___/___
Plumbing	_____	___/___/___
Mech.	_____	___/___/___
S. Waste	_____	___/___/___

REVISIONS:

No.	Description

**PERMIT SET**

PROJECT No.: 2157

ISSUE DATE: 11/17/2021

REVISIONS: No

LEVEL 1 & 2 DIMENSION FLOOR PLAN

SCALE: As Indicated

TO THE BEST OF THE ARCHITECTS OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



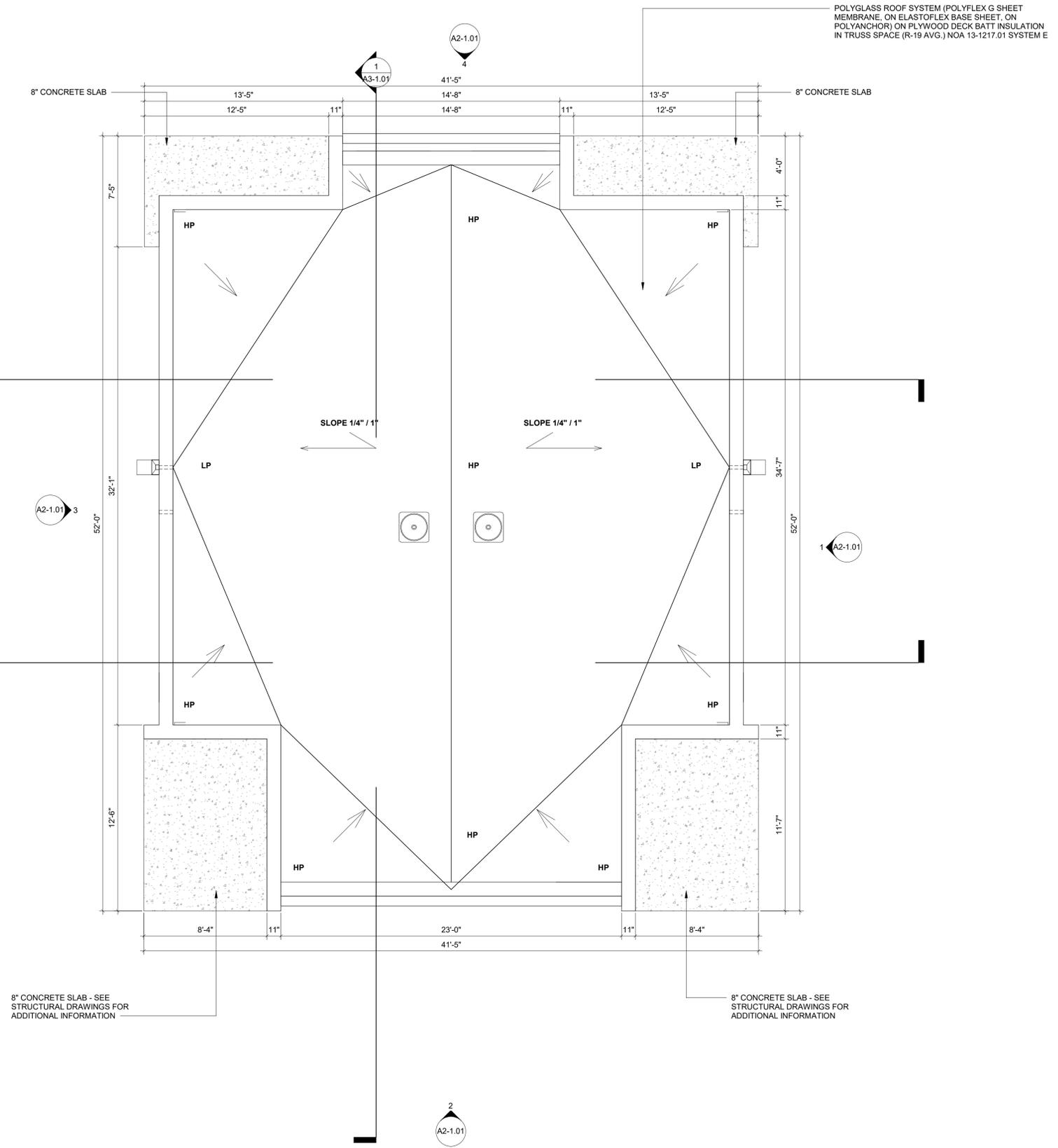
SIGNATURE:

ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:

**A1-1.01**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



PROJECT, ADDRESS AND OWNER:  
**57 WILTON MANORS**

1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER  
 HOME EQUITES VENTURES, LLC 4111  
 NW 17 AVE  
 OAKLAND PARK, FL

ARCHITECT:  
 G3ac  
 975 Arthur Godfrey rd, suite 401  
 miami beach florida 33140  
 t 305 753 8471 e admin@g3ac.com  
 w www.g3ac.com | #A26003670

CONSULTING ENGINEERS:  
 STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:  
**ZEPHYR ENGINEERING**  
 5451 PIERCE ST  
 HOLLYWOOD, FL  
 1 (786) 302 7893

LANDSCAPE ARCHITECT:  
**GREEN EARTH**  
 LANDSCAPE ARCHITECTURE  
 HOLLYWOOD, FL  
 1 (954) 638 8625

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

No.	Description	Date

**PERMIT SET**

PROJECT No.: 2157  
 ISSUE DATE: 11 / 17 / 2021  
 REVISIONS: No

UNIT TYPE A - LEVEL ROOF

SCALE: 1/4" = 1'-0"

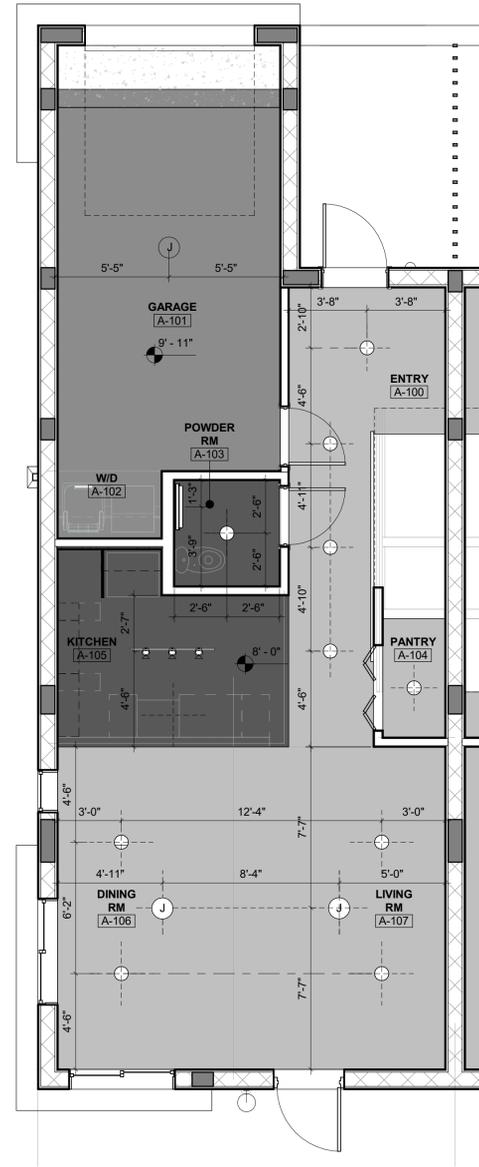
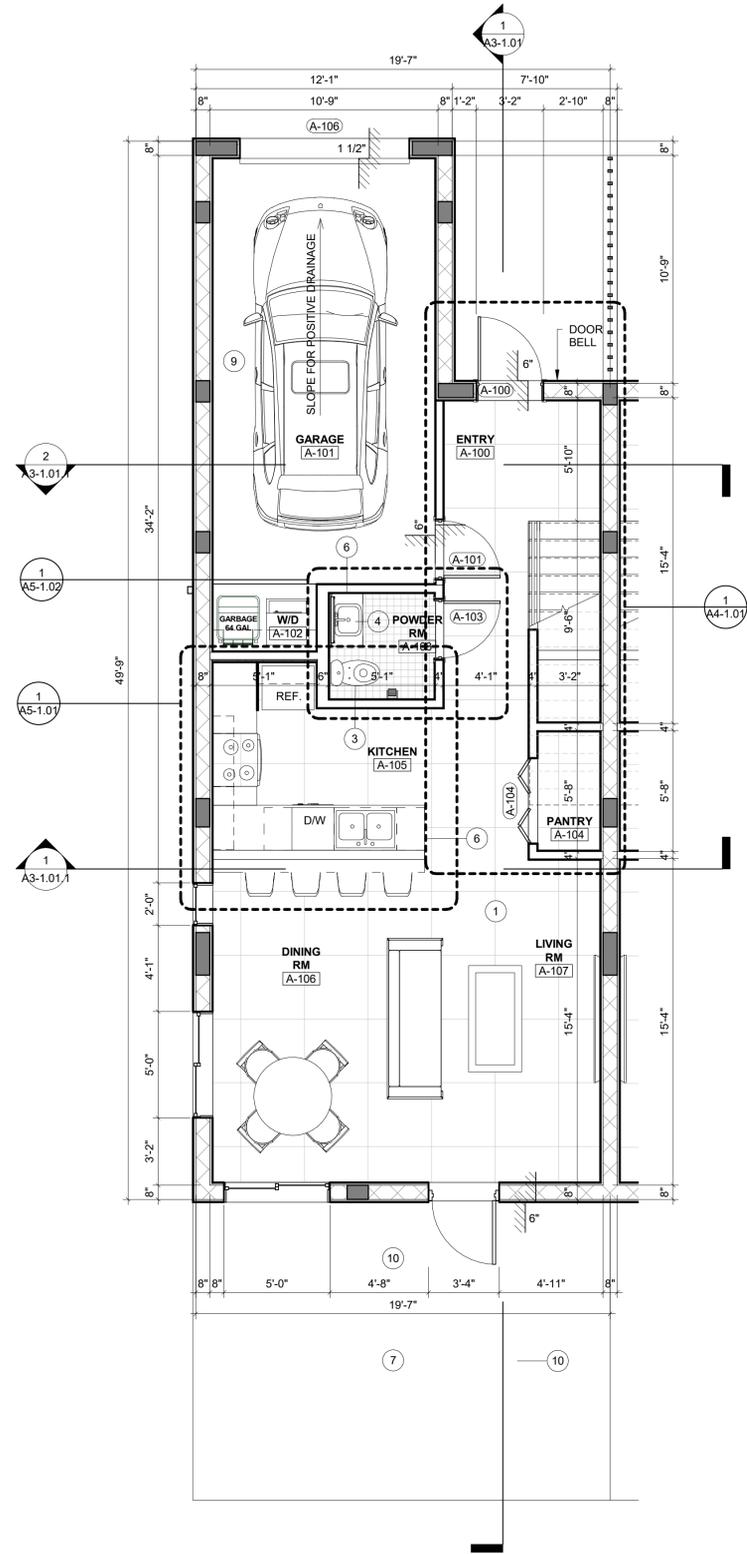
TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



SIGNATURE:  
 ARTURO G. GRIEGO, AIA  
 AR94011

SHEET No.:  
**A1-1.02**



WALL LEGEND		MATERIAL LEGEND	
1		1	FLOOR TILING
2		2	BATHROOM TILING
3		3	WATER CLOSET MATERIAL
4		4	SINK MATERIAL
		5	STAIR MATERIAL
		6	COUNTERTOP MATERIAL
		7	GRASS
		8	BATHTUB MATERIAL
		9	CONCRETE
		10	12"x12" CONCRETE PAVERS

**GENERAL NOTES**

1. 0'-0" = 8'-0" N.G.V.D.
2. ALL SHOP DRAWINGS REQUIRE APPROVAL FROM CITY OF WILTON MANORS.
3. NOTE (F.H.A CHAPTER 7): -If specification B is used it applies to one bathroom and only one of each type of fixture must be usable; Additional bathrooms in the unit are exempt only from maneuvering and clear floor space requirements at fixtures.
4. PROVIDE "CLASS ABC" FIRE EXTINGUISHER PER 2,500 SQ.FT. AND NOT TO EXCEED 75' BETWEEN EACH OTHER. SEE PLAN LOCATION SYMBOL. F.E. CONTRACTOR TO SUBMIT FLUSH MOUNT CABINET WITH SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
5. FIRE PENETRATIONS: CONTRACTOR SHALL SEAL ALL PENETRATIONS THRU FIRE RATED PARTITIONS OR ASSEMBLIES WITH "HILT-FIRESTOP SYSTEM-CS-240 FIRESTOP SEALANT OR EQUAL. INSTALL AS PER MANUFACTURER RECOMMENDATION FOR 1,2,3 AND 4 HOUR RATING

**UNIT FINISH SCHEDULE**

TYPE	MATERIAL	FINISH
FLOOR	TILE	TO BE SELECTED BY OWNER
BASE	TILE	TO BE SELECTED BY OWNER
BATH FLOOR	TILE	TO BE SELECTED BY OWNER
BATH BASE	NONE	BATH BASE
WALLS	PAINTED	COLOR WHITE
BATH WALLS	TILE	TO BE SELECTED BY OWNER
CEILING	GYP. BOARD/PAINTED	AS PER CEILING LEGEND/COLOR WHITE

RCP LEGEND		UNIT TYPE A UNIT TYPE = 2 BEDROOM / 2.5 BATHS UNIT AREA = 1,782 SF UNIT TERRACES = 446 SF # OF UNITS = 2 UNITS TOTAL
	JUNCTION BOX	
	RECESSED LIGHT FIXTURE	
	RECESSED LIGHT FIXTURE	
	PENDANT LIGHT FIXTURE	
	WALL MOUNTED LIGHT FIXTURE	
	DECORATIVE STRIP LIGHTING	

**REFLECTED CEILING NOTES**

1. REFER TO THE GENERAL / G-SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
2. THE INTENT OF THIS REFLECTED CEILING PLANS IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING, AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FEATURES. FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION, REFER TO M.E.P. DRAWINGS.
3. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS RELECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
4. SUB - CONTRACTOR SHALL VERIFY ALL CEILING PLENIUM CONDITIONS TO ASSURE CLEARANCE OF DUCTWORK, PIPING AND OTHER OBSTRUCTION WITH THE CEILING HEIGHTS SPECIFIED, AND THE LOCATIONS OF THE LIGHT FIXTURES SHOWN. SUB - CONTRACTOR SHALL PROVIDE CEILING TRANSITIONS WITH GYPSUM BOARD AND METAL SHADOW MOLDING WHERE LOWER CEILINGS ARE REQUIRED DUE TO CLEARANCE PROBLEMS.
5. SUB - CONTRACTORS SHALL VERIFY ADEQUATE SERVICE IS AVAILABLE FOR THE WORK SPECIFIED, AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SERVICE IS NOT ADEQUATE.
6. SUB - CONTRACTOR SHALL SUPPLY ALL GYPSUM BOARD CEILING ACCESS PANELS REQUIRED AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE AS MANUFACTURED BY "INTEFORMS INC". SIZE OF ACCESS PANELS SHALL BE COORDINATED IN FIELD. ACCESS PANEL FRAMES SHALL BE TAPED AND SPACKLED, PROVIDE ANY AND ALL BLOCKING AS MAY BE REQUIRED.
7. CEILING HEIGHTS ARE DIMENSIONED IN RELATIONSHIP TO FINISHED FLOOR.
8. EMERGENCY LIGHTS SHALL BE INSTALLED ON SEPARATE CIRCUIT. REFER TO ENGINEERING DRAWINGS FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN AND WITH ENGINEERING DRAWING FOR SWITCHING CIRCUITS AND FIRE ALARM SYSTEM
9. REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURNS AIR GRILLES.
10. ALL HORNS AND STROBES SHALL BE CENTERED ABOVE THE LIGHT SWITCH OR CENTERED ON SURFACE (WALL, COLUMN, ETC.) UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS INSTALLATION SHALL RESULT IN CONTRACTOR RELOCATING THE HORNS AND STROBES AT HIS OWN EXPENSE.
11. ALL ABANDONED SLAB POKE THROUGH FROM SLAB ABOVE SHALL BE FIRE SAFED AS REQUIRED.

PROJECT, ADDRESS AND OWNER:  
**57 WILTON MANORS**  
 1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER:  
 HOME EQUITES VENTURES, LLC 4111  
 NW 17 AVE  
 OAKLAND PARK, FL

ARCHITECT:



CONSULTING ENGINEERS:  
 STRUCTURAL ENGINEER:

CIVIL ENGINEER:  
**ZEPHYR ENGINEERING**  
 5451 PIERCE ST  
 HOLLYWOOD, FL  
 1 (786) 302 7693

LANDSCAPE ARCHITECT:  
**GREEN EARTH**  
 LANDSCAPE ARCHITECTURE  
 HOLLYWOOD, FL  
 1 (954) 638 9625

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

No.	Description	Date

**PERMIT SET**

PROJECT No.: 2157  
 ISSUE DATE: 11 / 17 / 2021  
 REVISIONS: No

ENLARGED FIRST FLOOR - UNIT TYPE A

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

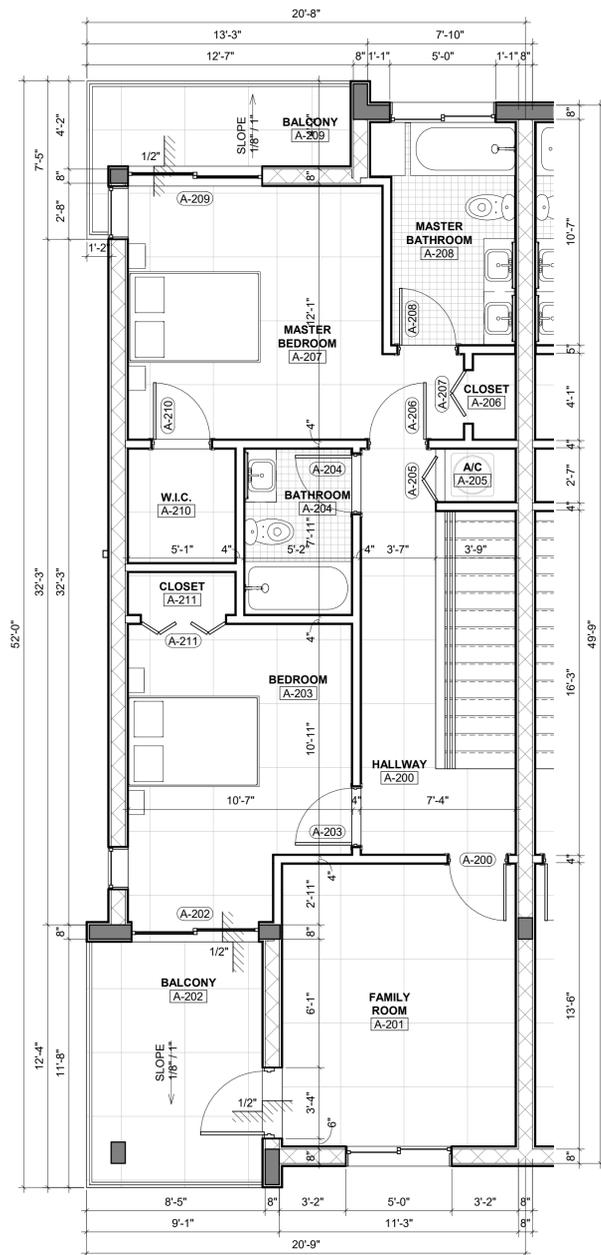
SIGNATURE:  
 ARTURO G. GRIEGO, AIA  
 AR94011

SHEET No.:  
**A1-1.03**

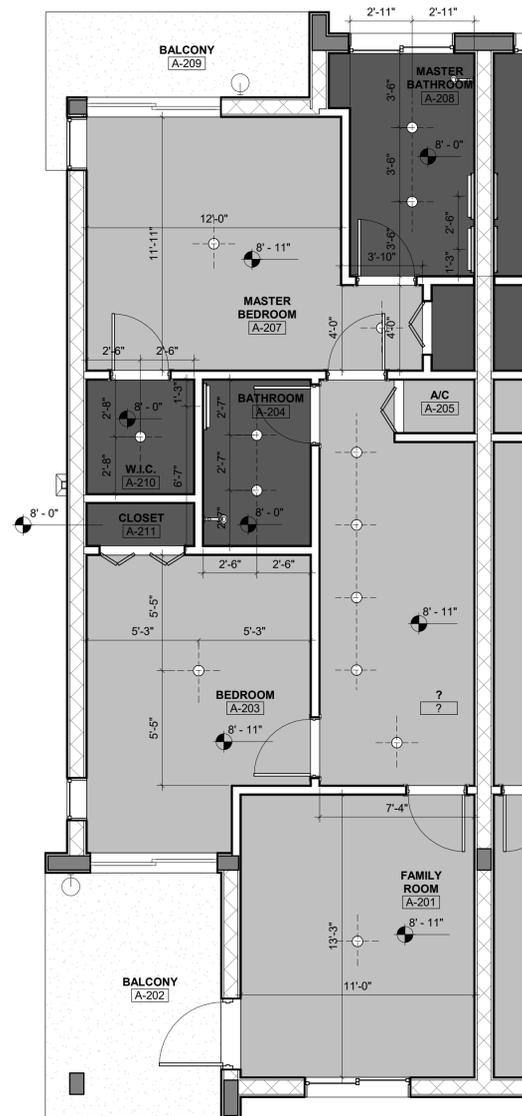
**1** LEVEL 01 TYP. UNIT TYPE A  
 SCALE: 1/4" = 1'-0"

**2** LEVEL 01 TYP. RCP UNIT TYPE A  
 SCALE: 1/4" = 1'-0"

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



**1** SECOND LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**2** LEVEL 02 TYP. RCP UNIT TYPE A  
SCALE: 1/4" = 1'-0"

WALL LEGEND		MATERIAL LEGEND	
1	WALL TYPE 1 TYPICAL 8" CMU WALL W/VERTICLE REINFORCING. EXTERIOR TO INTERIOR (2HR RATED) SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.	1	FLOOR TILING
2	WALL TYPE 2 TYPICAL 8" CMU WALL W/VERTICLE REINFORCING. EXTERIOR TO EXTERIOR (2HR RATED) SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.	2	BATHROOM TILING
3	WALL TYPE 3 TYPICAL 8" CMU WALL W/VERTICLE REINFORCING. INTERIOR TO INTERIOR (1HR RATED) SEE TYPICAL WALL TYPES AND STRUCTURAL DWGS FOR DETAILS.	3	WATER CLOSET MATERIAL
4	WALL TYPE 4 TYPICAL INTERIOR PARTITION NON-RATED. SEE TYPICAL WALL TYPES FOR DETAILS.	4	SINK MATERIAL
		5	STAIR MATERIAL
		6	COUNTERTOP MATERIAL
		7	GRASS
		8	BATHTUB MATERIAL
		9	CONCRETE
		10	12"x12" CONCRETE PAVERS

**GENERAL NOTES**

- 0'-0" = 8'-0" N.G.V.D.
- ALL SHOP DRAWINGS REQUIRE APPROVAL FROM CITY OF WILTON MANORS.
- NOTE (F.H.A CHAPTER 7): -If specification B is used it applies to one bathroom and only one of each type of fixture must be usable; Additional bathrooms in the unit are exempt only from maneuvering and clear floor space requirements at fixtures.
- PROVIDE "CLASS ABC" FIRE EXTINGUISHER PER 2,500 SQ.FT. AND NOT TO EXCEED 75' BETWEEN EACH OTHER. SEE PLAN LOCATION SYMBOL. F.E. CONTRACTOR TO SUBMIT FLUSH MOUNT CABINET WITH SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- FIRE PENETRATIONS: CONTRACTOR SHALL SEAL ALL PENETRATIONS THRU FIRE RATED PARTITIONS OR ASSEMBLIES WITH "HILT-FIRESTOP SYSTEM-CS-240 FIRESTOP SEALANT OR EQUAL. INSTALL AS PER MANUFACTURER RECOMMENDATION FOR 1,2,3 AND 4 HOUR RATING

**UNIT FINISH SCHEDULE**

TYPE	MATERIAL	FINISH
FLOOR	TILE	TO BE SELECTED BY OWNER
BASE	TILE	TO BE SELECTED BY OWNER
BATH FLOOR	TILE	TO BE SELECTED BY OWNER
BATH BASE	NONE	BATH BASE
WALLS	PAINTED	COLOR WHITE
BATH WALLS	TILE	TO BE SELECTED BY OWNER
CEILING	GYP. BOARD/PAINTED	AS PER CEILING LEGEND/COLOR WHITE

RCP LEGEND		UNIT TYPE A	
	JUNCTION BOX	UNIT TYPE = 2 BEDROOM / 2.5 BATHS	
	RECESSED LIGHT FIXTURE	UNIT AREA = 1,782 SF	
	RECESSED LIGHT FIXTURE	UNIT TERRACES = 446 SF	
	PENDANT LIGHT FIXTURE	# OF UNITS = 2 UNITS TOTAL	
	WALL MOUNTED LIGHT FIXTURE		
	DECORATIVE STRIP LIGHTING		

**REFLECTED CEILING NOTES**

- REFER TO THE GENERAL / G-SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
- THE INTENT OF THIS REFLECTED CEILING PLANS IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING, AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FEATURES. FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION, REFER TO M.E.P. DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS RELECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
- SUB - CONTRACTOR SHALL VERIFY ALL CEILING PLENIUM CONDITIONS TO ASSURE CLEARANCE OF DUCTWORK, PIPING AND OTHER OBSTRUCTION WITH THE CEILING HEIGHTS SPECIFIED, AND THE LOCATIONS OF THE LIGHT FIXTURES SHOWN. SUB - CONTRACTOR SHALL PROVIDE CEILING TRANSITIONS WITH GYPSUM BOARD AND METAL SHADOW MOLDING WHERE LOWER CEILINGS ARE REQUIRED DUE TO CLEARANCE PROBLEMS.
- SUB - CONTRACTORS SHALL VERIFY ADEQUATE SERVICE IS AVAILABLE FOR THE WORK SPECIFIED, AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SERVICE IS NOT ADEQUATE.
- SUB - CONTRACTOR SHALL SUPPLY ALL GYPSUM BOARD CEILING ACCESS PANELS REQUIRED AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE AS MANUFACTURED BY "INTEFORMS INC". SIZE OF ACCESS PANELS SHALL BE COORDINATED IN FIELD. ACCESS PANEL FRAMES SHALL BE TAPED AND SPACKLED, PROVIDE ANY AND ALL BLOCKING AS MAY BE REQUIRED.
- CEILING HEIGHTS ARE DIMENSIONED IN RELATIONSHIP TO FINISHED FLOOR.
- EMERGENCY LIGHTS SHALL BE INSTALLED ON SEPARATE CIRCUIT. REFER TO ENGINEERING DRAWINGS FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN AND WITH ENGINEERING DRAWING FOR SWITCHING CIRCUITS AND FIRE ALARM SYSTEM
- REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURNS AIR GRILLES.
- ALL HORNS AND STROBES SHALL BE CENTERED ABOVE THE LIGHT SWITCH OR CENTERED ON SURFACE (WALL, COLUMN, ETC.) UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS INSTALLATION SHALL RESULT IN CONTRACTOR RELOCATING THE HORNS AND STROBES AT HIS OWN EXPENSE.
- ALL ABANDONED SLAB POKE THROUGHES FROM SLAB ABOVE SHALL BE FIRE SAFED AS REQUIRED.

PROJECT, ADDRESS AND OWNER:  
**57 WILTON MANORS**

1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER

HOME EQUITES VENTURES, LLC 4111  
NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:  
**ZEPHYR ENGINEERING**  
5451 PIERCE ST  
HOLLYWOOD, FL  
1 (786) 302 7693

LANDSCAPE ARCHITECT:  
**GREEN EARTH**  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1 (954) 638 9625

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:


**PERMIT SET**

PROJECT No.: 2157  
ISSUE DATE: 11 / 17 / 2021  
REVISIONS: No

ENLARGED SECOND - FLOOR UNIT TYPE A

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECTS OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



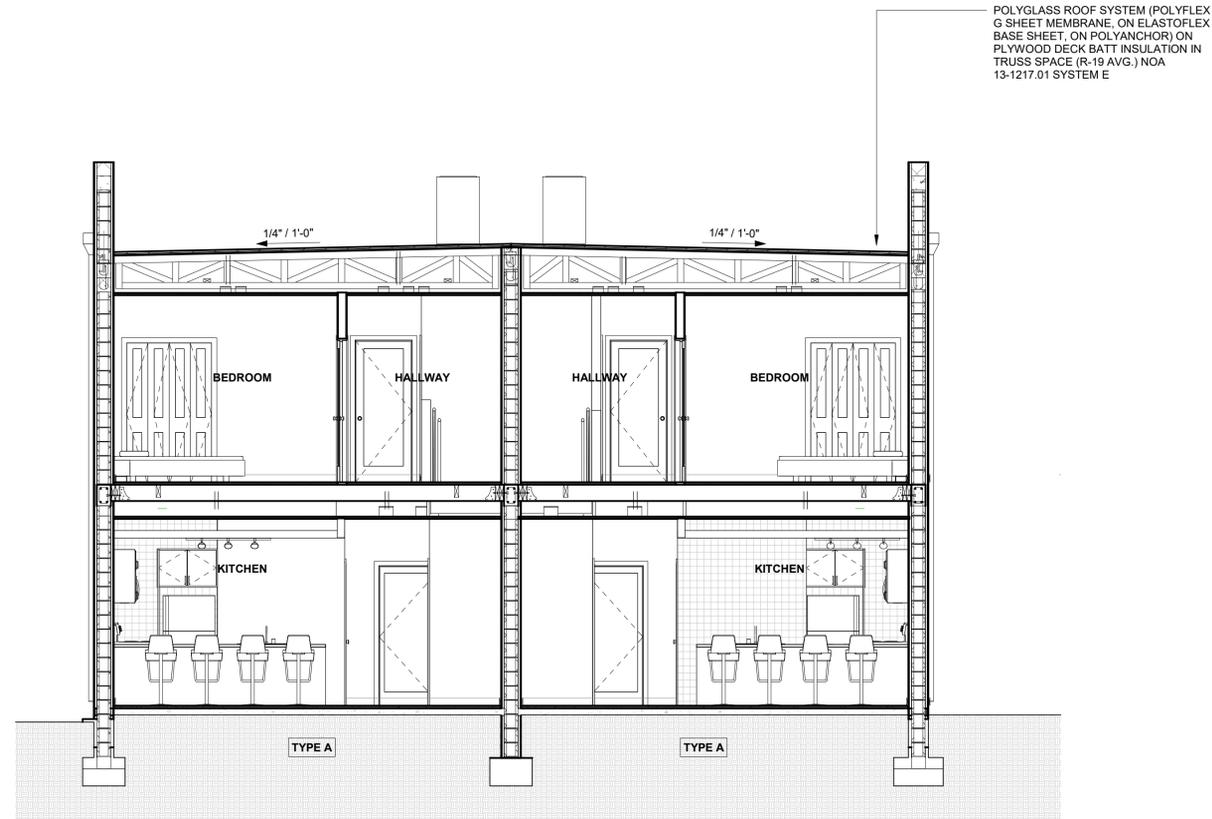
SIGNATURE:

ARTURO G. GRIEGO, AIA  
AR94011

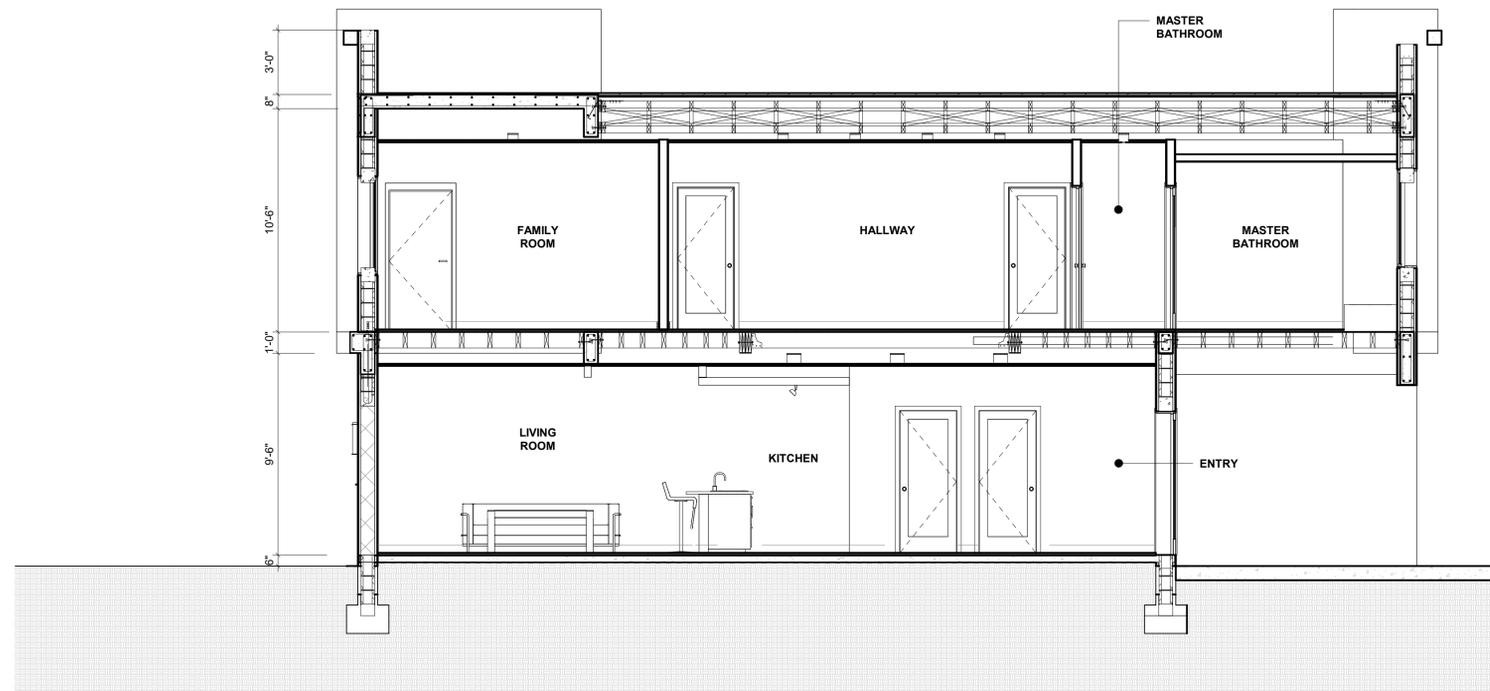
SHEET No.:

**A1-1.04**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



**2** UNIT TYPE A - BUILDING SECTION  
SCALE 1/4" = 1'-0"



**1** UNIT TYPE A - BUILDING SECTION  
SCALE 1/4" = 1'-0"

PROJECT, ADDRESS AND OWNER:

**57 WILTON MANORS**

1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER

HOME EQUITES VENTURES, LLC 4111  
NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

ZEPHYR ENGINEERING  
5451 PIERCE ST  
HOLLYWOOD, FL  
1 (786) 302 7693

LANDSCAPE ARCHITECT:

GREEN EARTH  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1 (954) 638 8625

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	///
Fire Prev.	///
Planning	///
Zoning	///
Building	///
Structural	///
Electrical	///
Plumbing	///
Mech.	///
S. Waste	///

REVISIONS:

No.	Description	Date

**PERMIT SET**

PROJECT No.: 2157  
ISSUE DATE: 11 / 17 / 2021  
REVISIONS: No

TYPICAL UNIT SECTIONS

SCALE: 1/4" = 1'-0"

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:

**A3-1.01**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

PROJECT, ADDRESS AND OWNER:

**57 WILTON MANORS**

1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER

HOME EQUITES VENTURES, LLC  
4111 NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:



CONSULTING ENGINEERS:  
STRUCTURAL ENGINEER

MEP

CIVIL ENGINEER:  
ZEPHYR ENGINEERING  
5401 PIERCE ST  
HOLLYWOOD, FL  
1788 302 7693

LEED CONSULTANT:  
GREEN EARTH  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1984 638 9623

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	///
Fire Prev.	///
Planning	///
Zoning	///
Building	///
Structural	///
Electrical	///
Plumbing	///
Mech.	///
S. Waste	///

REVISIONS:

No.	Description	Date

**PERMIT SET**

PROJECT No.: 2157  
ISSUE DATE: 11/17/2021  
REVISIONS: No  
2 UNIT ELEVATIONS

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



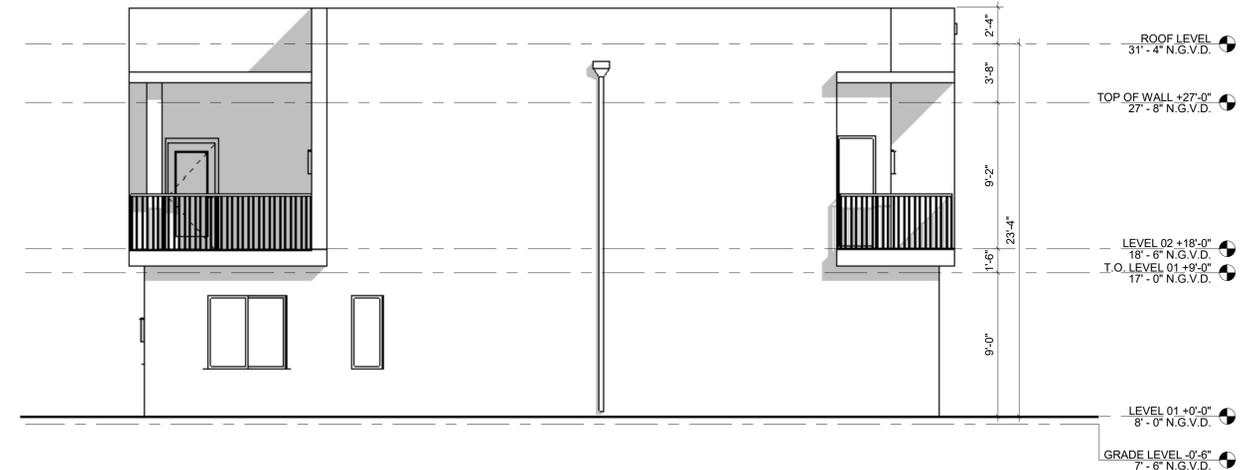
SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:  
**A2-1.01**

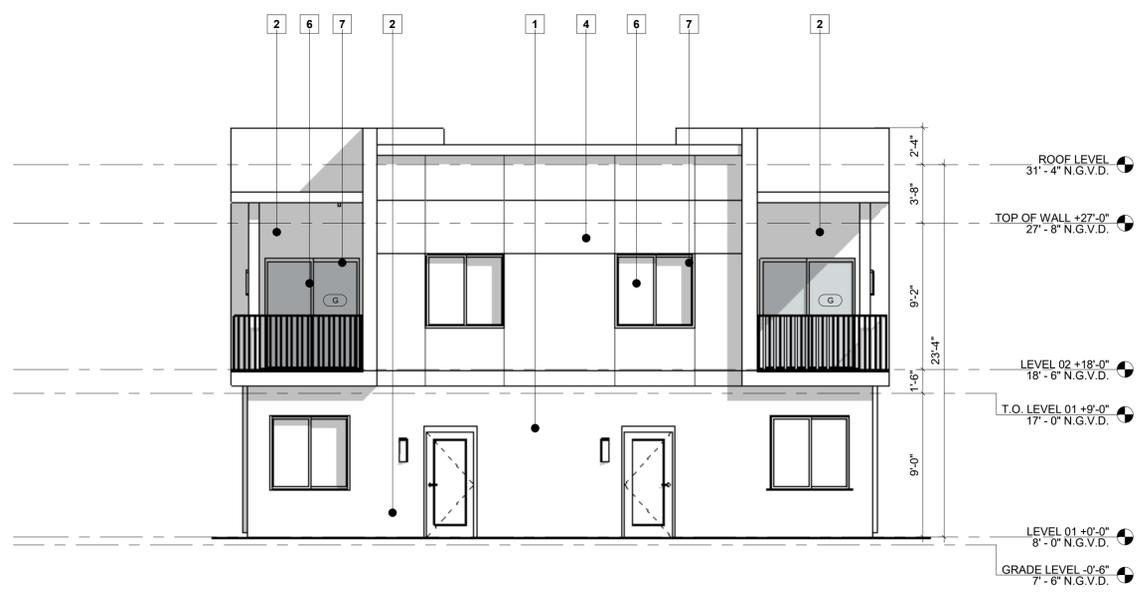
ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



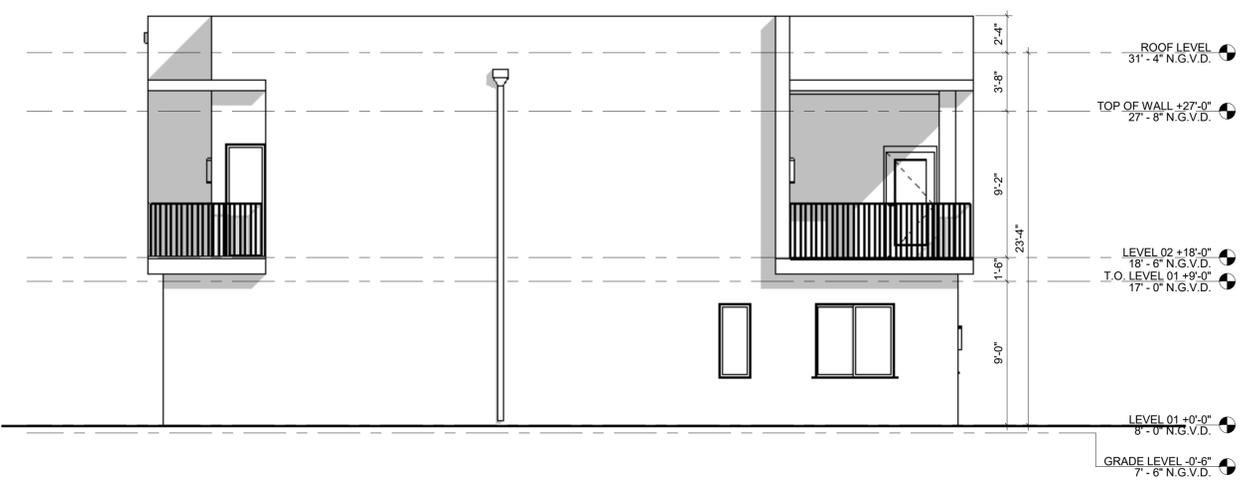
**1** NORTH ELEVATION  
SCALE 3/16" = 1'-0"



**3** EAST ELEVATION  
SCALE 3/16" = 1'-0"



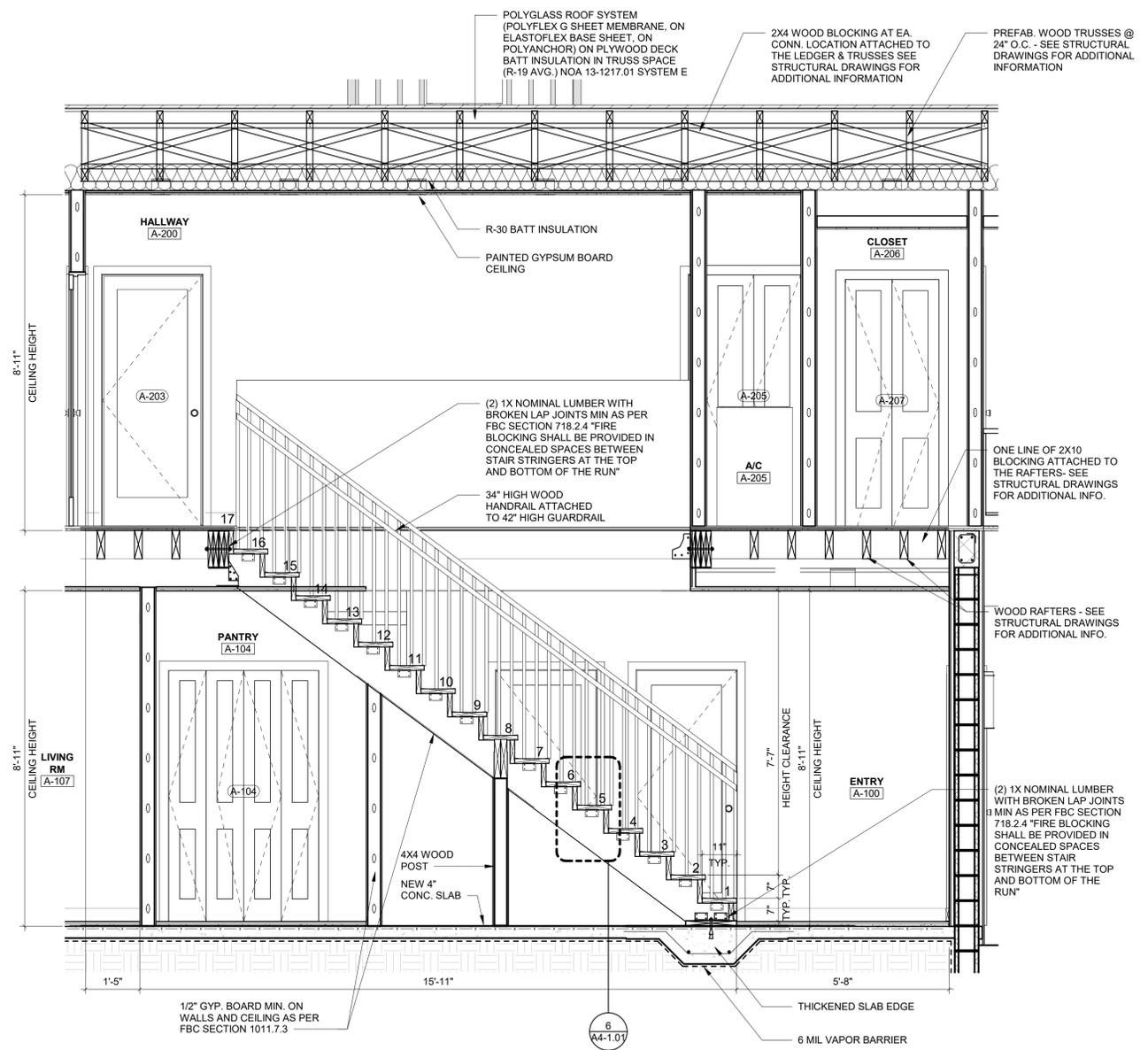
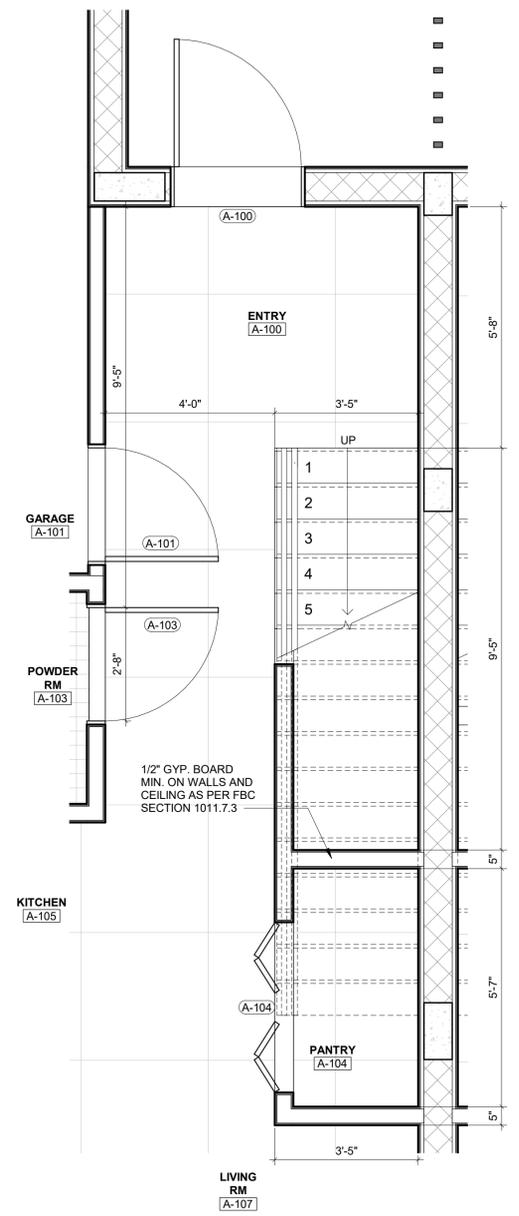
**2** SOUTH ELEVATION  
SCALE 3/16" = 1'-0"



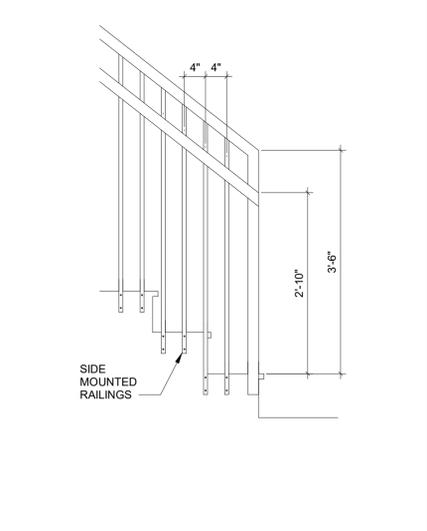
**4** WEST ELEVATION  
SCALE 3/16" = 1'-0"

**MATERIAL + FINISHES LEGEND**

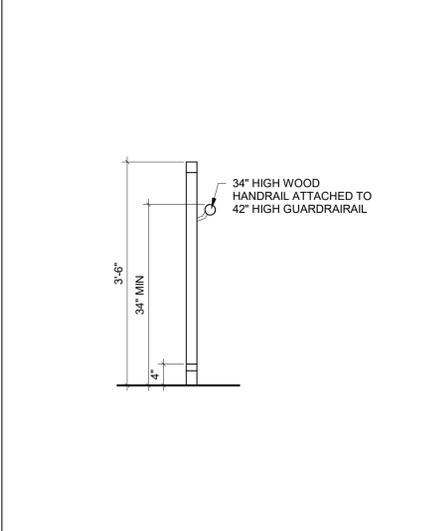
 <b>1</b> WHITE STUCCO SMOOTH FINISH SHERWIN WILLIAMS COLOR SW7008 ALABASTER	 <b>3</b> PAINTED STUCCO SMOOTH FINISH SHERWIN WILLIAMS COLOR SW1668 PINEAPPLE CREAM	 <b>5</b> VERTICAL ALUMINUM PICKET RAILING COLOR: WHITE	 <b>7</b> ALUMINUM FRAMING COLOR: UC43350 DURANAR BONE WHITE	 <b>9</b> GARAGE DOOR PAINTED COLOR: WHITE
 <b>2</b> PAINTED STUCCO SMOOTH FINISH SHERWIN WILLIAMS COLOR SW7748 EARTH GREEN	 <b>4</b> PAINTED STUCCO SMOOTH FINISH SHERWIN WILLIAMS COLOR SW7015 REPOSE GRAY	 <b>6</b> LAMINATED GLASS CRYSTAL GREY	 <b>8</b> STONE EFFECT PORCELAIN TILE CAESAR CERAMICS ABSOLUTE - BEOLA BIANCA	



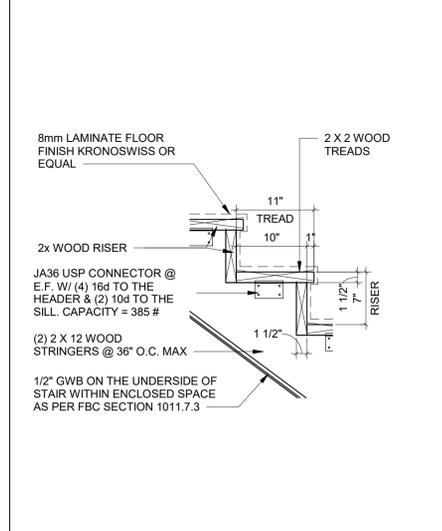
**3** STAIR SECTION  
SCALE 1/2" = 1'-0"



**4** HANDRAIL VERT. DETAIL  
SCALE 3/4" = 1'-0"



**5** HANDRAIL SECTION  
SCALE 3/4" = 1'-0"



**6** STAIR DETAIL  
SCALE 1" = 1'-0"

PROJECT, ADDRESS AND OWNER:  
**57 WILTON MANORS**  
1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER:  
HOME EQUITES VENTURES, LLC 4111  
NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:  
 G3sec  
975 Arthur Godfrey rd., suite 401  
miami beach florida 33140  
t 305 783 8471 e admin@g3sec.com  
w www.g3sec.com | #AA26003670

CONSULTING ENGINEERS:  
STRUCTURAL ENGINEER:  
MEP:  
CIVIL ENGINEER:  
**ZEPHYR ENGINEERING**  
5451 PIERCE ST  
HOLLYWOOD, FL  
1 (786) 302 7893  
LANDSCAPE ARCHITECT:  
**GREEN EARTH**  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1 (954) 638 9825

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	///
Fire Prev.	///
Planning	///
Zoning	///
Building	///
Structural	///
Electrical	///
Plumbing	///
Mech.	///
S. Waste	///

REVISIONS:


**PERMIT SET**

PROJECT No.: 2157  
ISSUE DATE: 11 / 17 / 2021  
REVISIONS: No

STAIR PLAN & SECTION  
SCALE: N.T.S.

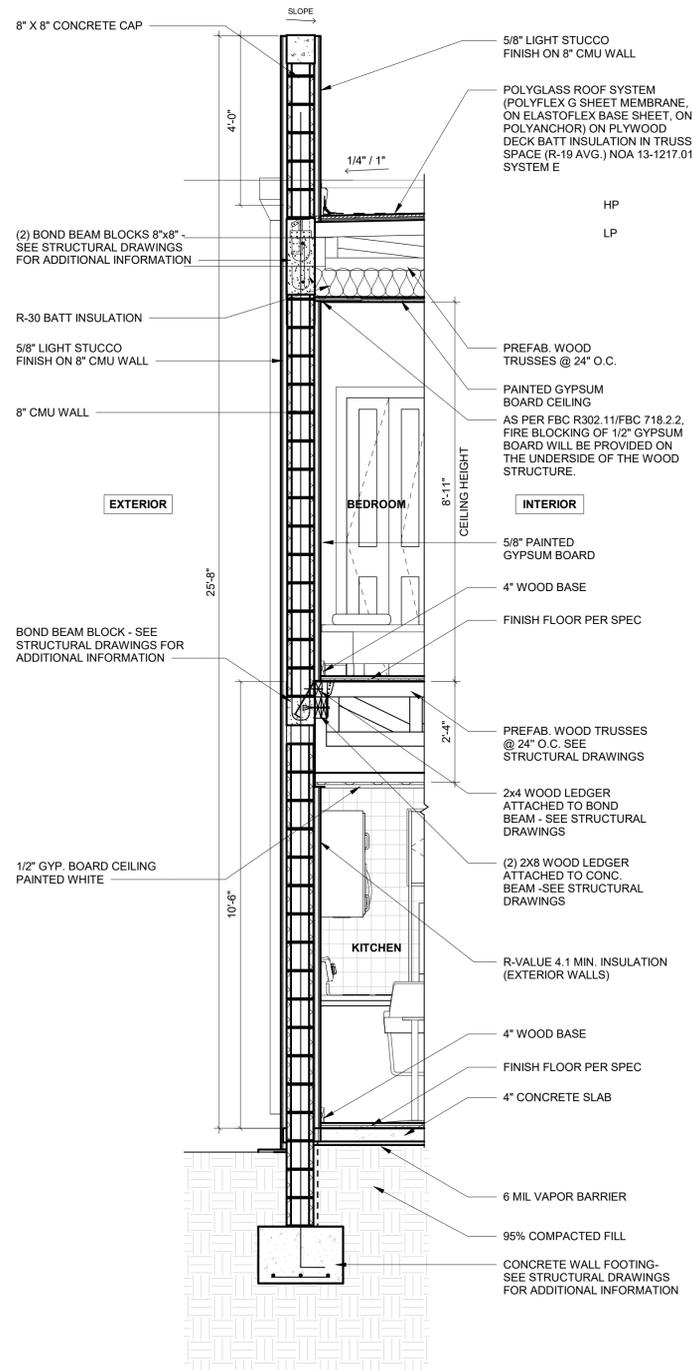
TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SIGNATURE:  
**ARTURO G. GRIEGO, AIA**  
AR94011

SHEET No.:  
**A4-1.01**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

**1** UNIT TYPE A - LEVEL 01  
SCALE: 1/2" = 1'-0"



**1** WALL SECTION  
SCALE 1/2" = 1'-0"

PROJECT, ADDRESS AND OWNER:

**57 WILTON MANORS**

1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER

HOME EQUITES VENTURES, LLC 4111  
NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

**ZEPHYR ENGINEERING**  
5451 PIERCE ST  
HOLLYWOOD, FL  
1 (786) 302 7693

LANDSCAPE ARCHITECT:

**GREEN EARTH**  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1 (954) 638 8625

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

No.	Description	Date

**PERMIT SET**

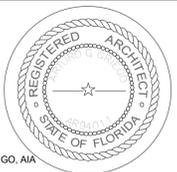
PROJECT No.: 2157  
ISSUE DATE: 11 / 17 / 2021  
REVISIONS: No

WALL SECTIONS

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



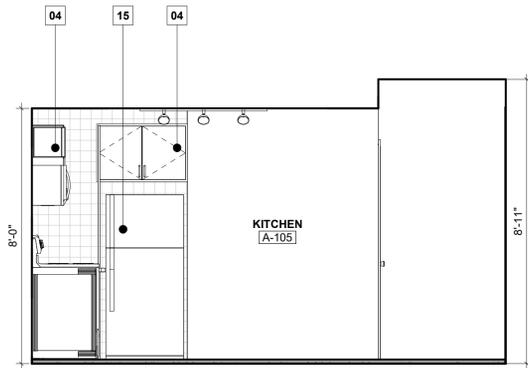
SIGNATURE:

ARTURO G. GRIEGO, AIA  
AR94011

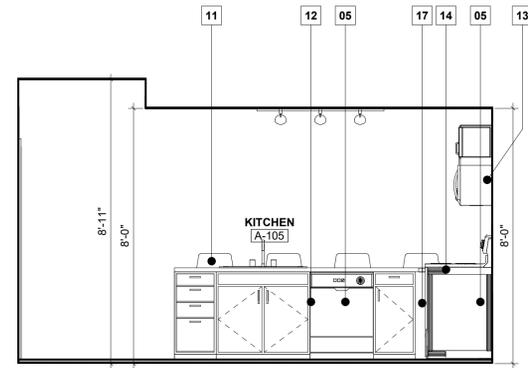
SHEET No.:

**A4-1.02**

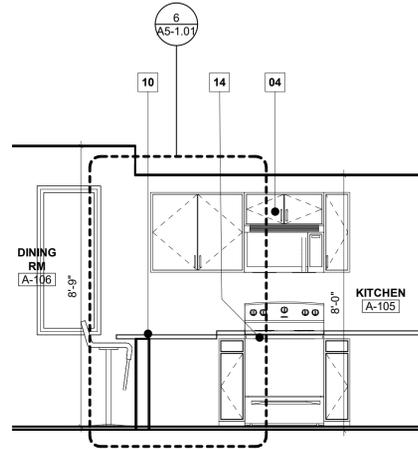
ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



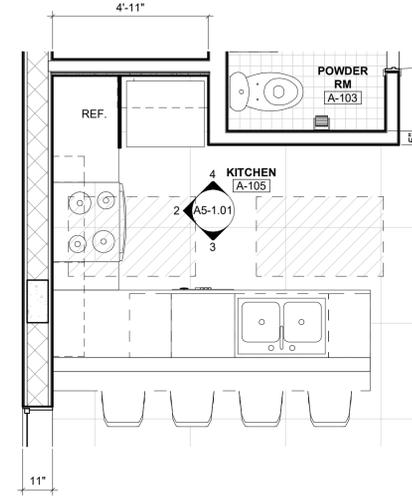
**4** KITCHEN ELEVATION  
SCALE 3/8" = 1'-0"



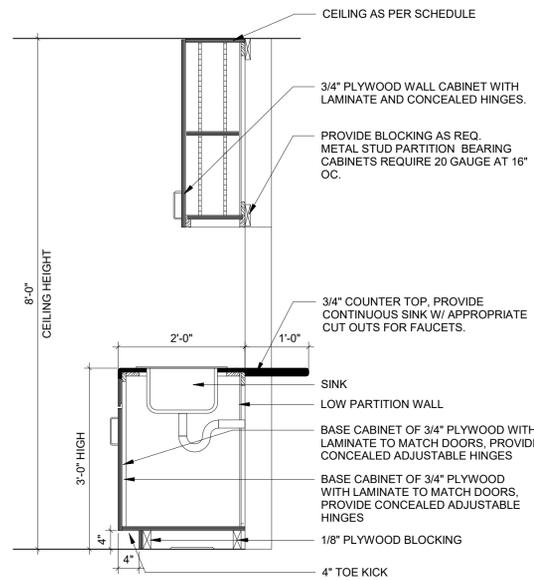
**3** KITCHEN ELEVATION  
SCALE 3/8" = 1'-0"



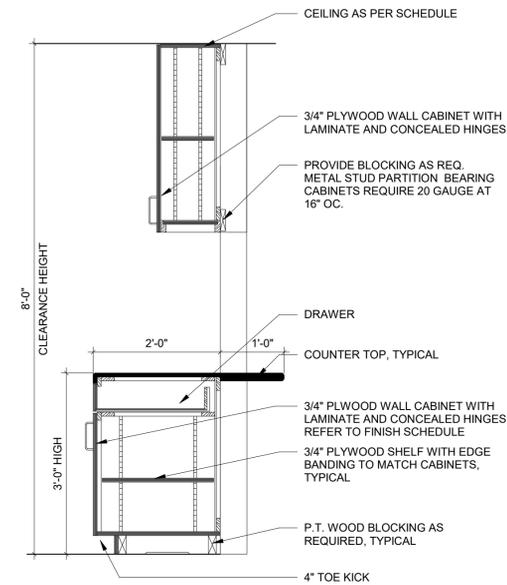
**2** KITCHEN ELEVATION  
SCALE 3/8" = 1'-0"



**1** KITCHEN PLAN  
SCALE 3/8" = 1'-0"



**5** COUNTER SECTION  
SCALE 3/4" = 1'-0"



**6** COUNTER SECTION  
SCALE 3/4" = 1'-0"

**KITCHEN LEGEND**

- 01 PAINTED GYPSUM BOARD
- 02 6" BACK SPLASH
- 03 4" KICK PLATE
- 04 WALL CABINETS
- 05 BASE CABINETS
- 06 CEILING HUNG CABINETS
- 07 MICROWAVE
- 08 SHELVING
- 09 4" TILE BASE
- 10 KITCHEN COUNTERTOP
- 11 SINK
- 12 DISHWASHER
- 13 MICROWAVE
- 14 STOVE
- 15 REFRIGERATOR
- 16 FILLER PANEL
- 17 OVEN

**FINISH MATERIAL NOTE**

ALL FINISH MATERIAL AND FIXTURES ARE TO BE SELECTED BY OWNER

PROJECT, ADDRESS AND OWNER:  
**57 WILTON MANORS**

1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER

HOME EQUITES VENTURES, LLC 4111  
NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:  
**ZEPHYR ENGINEERING**  
5451 PIERCE ST  
HOLLYWOOD, FL  
1 (786) 302 7693

LANDSCAPE ARCHITECT:  
**GREEN EARTH**  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1 (954) 638 8625

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

No.	Description

**PERMIT SET**

PROJECT No.: 2157  
ISSUE DATE: 11 / 17 / 2021  
REVISIONS: No

ENLARGED KITCHEN PLANS AND ELEVATIONS

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:

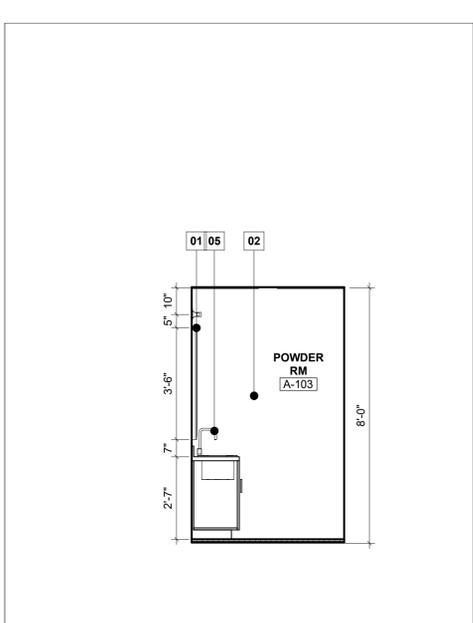


SIGNATURE:  
**ARTURO G. GRIEGO, AIA**  
AR94011

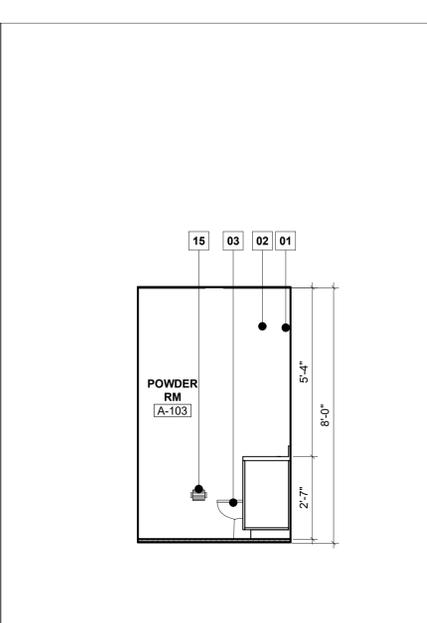
SHEET No.:

**A5-1.01**

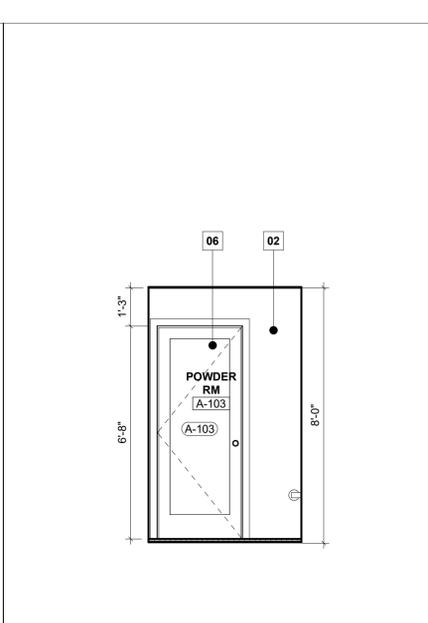
ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



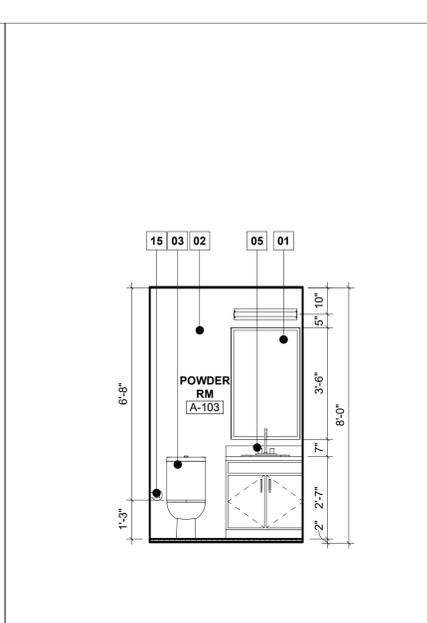
**5** POWDER RM ELEVATION  
SCALE 3/8" = 1'-0"



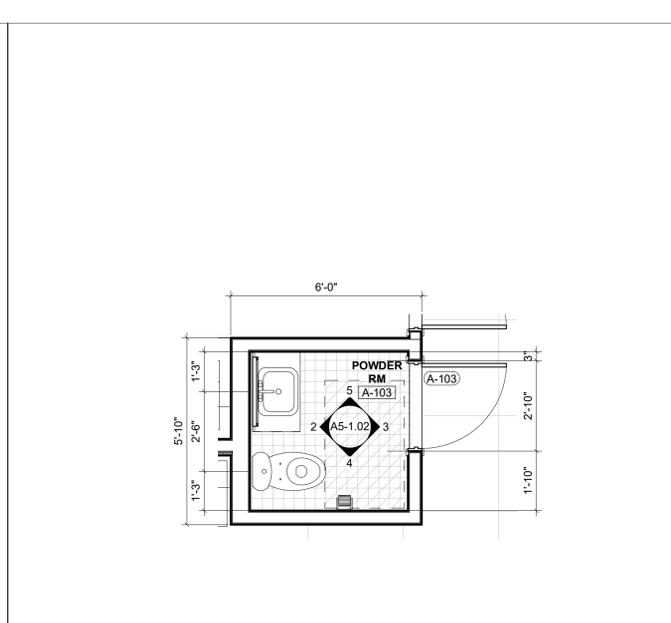
**4** POWDER RM ELEVATION  
SCALE 3/8" = 1'-0"



**3** POWDER RM ELEVATION  
SCALE 3/8" = 1'-0"



**2** POWDER RM ELEVATION  
SCALE 3/8" = 1'-0"



**1** GROUND LEVEL - POWDER RM  
SCALE 3/8" = 1'-0"

**BATHROOM LEGEND**

- 01 WALL MOUNTED GLASS MIRROR
- 02 CERAMIC TILE WALL
- 03 TOILET
- 04 PAINTED GYPSUM BOARD
- 05 SINK
- 06 WOOD DOOR
- 07 GLASS
- 08 BATH SHOWER
- 09 GRAB BAR @ ACCESSIBLE AREA
- 10 FLUSH VALVE
- 11 SANITARY PAPER HOLDER
- 12 FAUCET
- 13 URINAL
- 14 BATHTUB
- 15 TOILET PAPER

**FINISH MATERIAL NOTE**

ALL FINISH MATERIAL AND FIXTURES ARE TO BE SELECTED BY OWNER

**PROJECT, ADDRESS AND OWNER:**  
**57 WILTON MANORS**

1308 NE 24 STREET WILTON MANORS, FL | 33305

**OWNER**

HOME EQUITES VENTURES, LLC 4111  
NW 17 AVE  
OAKLAND PARK, FL

**ARCHITECT:**



**CONSULTING ENGINEERS:**

STRUCTURAL ENGINEER:

MEP:

**CIVIL ENGINEER:**

**ZEPHYR ENGINEERING**  
5451 PIERCE ST  
HOLLYWOOD, FL  
1 (786) 302 7693

**LANDSCAPE ARCHITECT:**

**GREEN EARTH**  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1 (954) 638 9625

**Reviewed for CODE COMPLIANCE**

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

**REVISIONS:**

No.	Description	Date

**PERMIT SET**

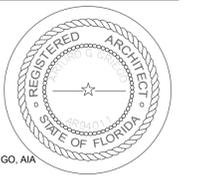
PROJECT No.: 2157  
ISSUE DATE: 11 / 17 / 2021  
REVISIONS: No

**ENLARGED BATHROOM PLANS AND ELEVATIONS**

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

**SEAL:**

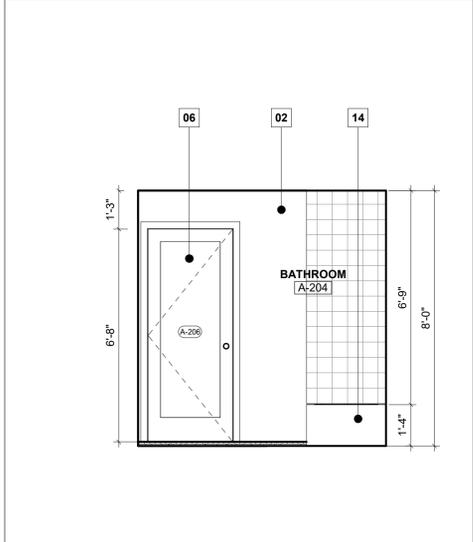


SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

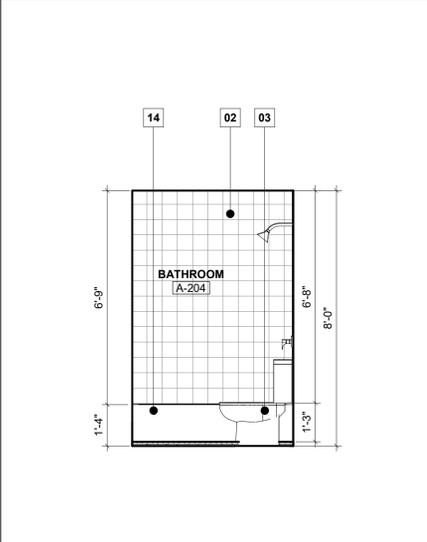
**SHEET No.:**

**A5-1.02**

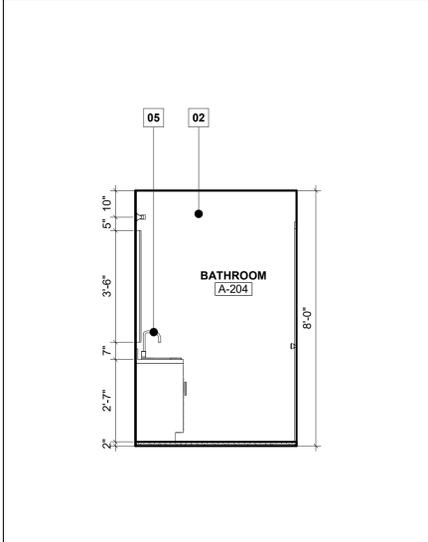
ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



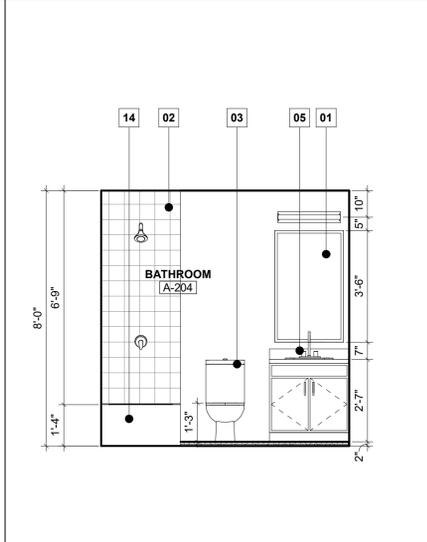
**10** BATHROOM ELEVATION  
SCALE 3/8" = 1'-0"



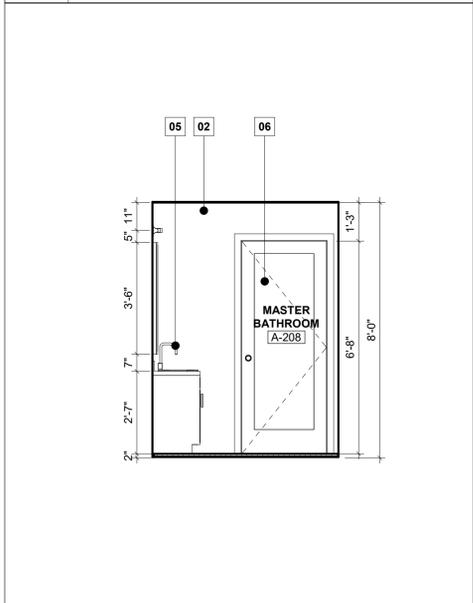
**9** BATHROOM ELEVATION  
SCALE 3/8" = 1'-0"



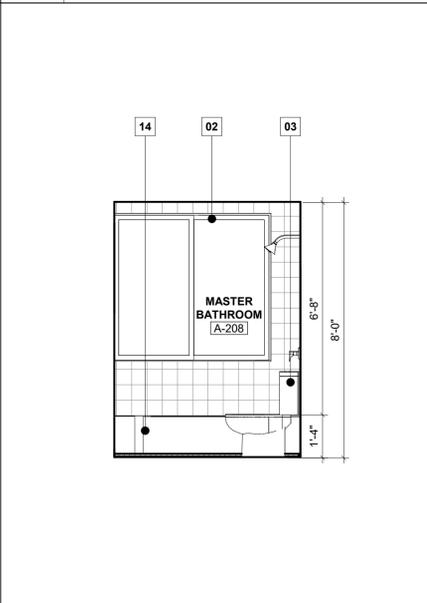
**8** BATHROOM ELEVATION  
SCALE 3/8" = 1'-0"



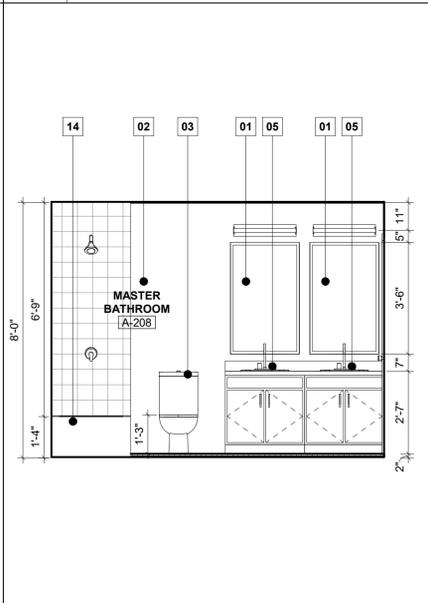
**7** BATHROOM ELEVATION  
SCALE 3/8" = 1'-0"



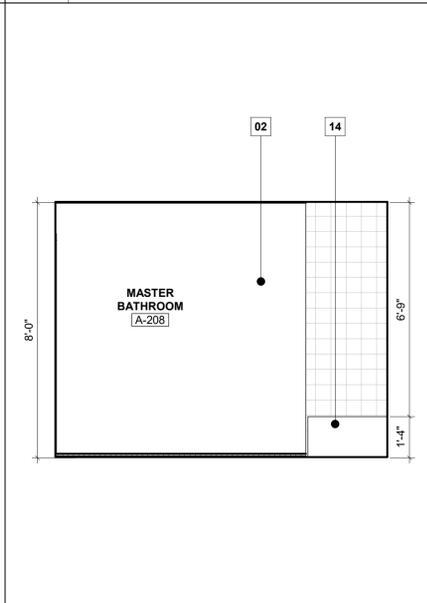
**15** BATHROOM ELEVATION  
SCALE 3/8" = 1'-0"



**14** BATHROOM ELEVATION  
SCALE 3/8" = 1'-0"

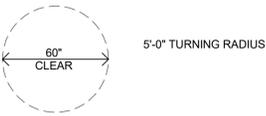


**13** BATHROOM ELEVATION  
SCALE 3/8" = 1'-0"



**12** BATHROOM ELEVATION  
SCALE 3/8" = 1'-0"

**FAIR HOUSING REQUIREMENTS**

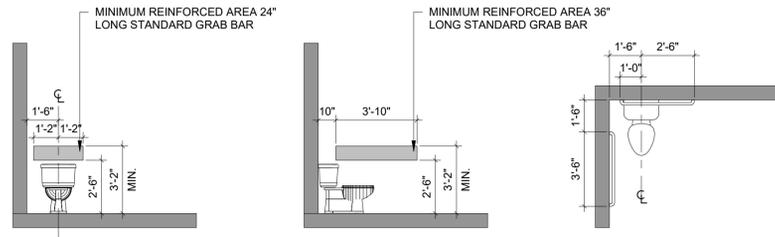


**ASSUMPTIONS:**

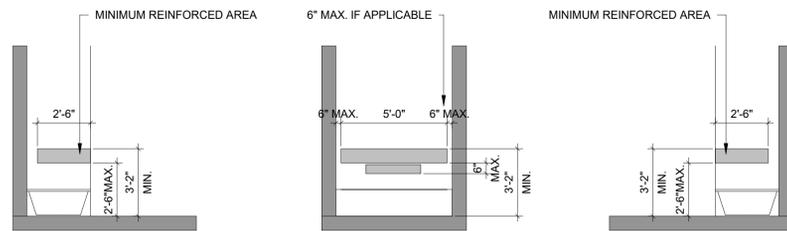
1. ACCESSIBLE WATER CLOSET DEPTH IS 30 INCHES AND IT IS FLOOR MOUNTED.
2. CONTROLS FOR FLUSH VALVES SHALL BE ON THE WIDE SIDE OF THE TOILET AREAS (FACBC 4.16.5)
3. ACCESSIBILITY TO TOILET STALL DOOR IS IN COMPLIANCE WITH FACBC AND ADA GUIDELINES.
4. DOOR OPENING WIDTH TO BE A MINIMUM OF 32 INCHES CLEAR (FACBC 4.13.5)
5. GRAB BARS TO COMPLY WITH 4.26 AND FIG 29 AND ADA REQUIREMENTS.
6. ACCESSIBLE TOILET ACCESSORIES TO BE PROVIDED WHERE SHOWN AND MOUNTED PER ADA/SFBC REQ.
7. SLIDING, POCKET AND BIFOLD DOORS MUST STOP FULLY WITH THEIR HANDLES EXPLODED AND CLEAR OPENING OF 32".

**NOTE:**

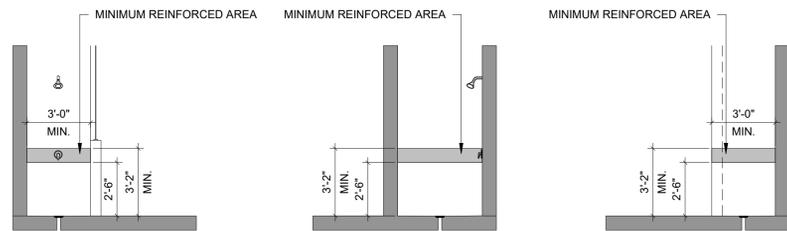
1. ACCESSIBLE TOILET STALL (COMPARTMENT) CAN BE 56" IN DEPTH IF YOU HAVE A WALL MOUNTED WATER CLOSET. IF THE DEPTH OF A STANDARD ACCESSIBLE TOILET STALL IS INCREASED AT LEAST 3", THEN A FLOORMOUNTED WATER CLOSET MAY BE USED. WE RECOMMEND A DEPTH OF 60" (FACBC 4.17.3)
2. ALL BATHROOM WALLS TO RECEIVE REINFORCED AREAS AS INDICATED BELOW.
3. ALL BATHROOM WALLS ARE TO RECEIVE REINFORCING FOR THE POSSIBILITY OF FUTURE ACCESSIBILITY EQUIPMENT INSTALLATION.
4. WHEN TOILET IS BETWEEN TUB AND LAVATORY REINFORCING IN WALL WILL BE 30" O.C.
5. ALL DIMENSIONS ARE NOMINAL, REFER TO WALL TYPES.



**ELEVATION**  
REINFORCED WALLS FOR GRAB BARS @ TOILETS

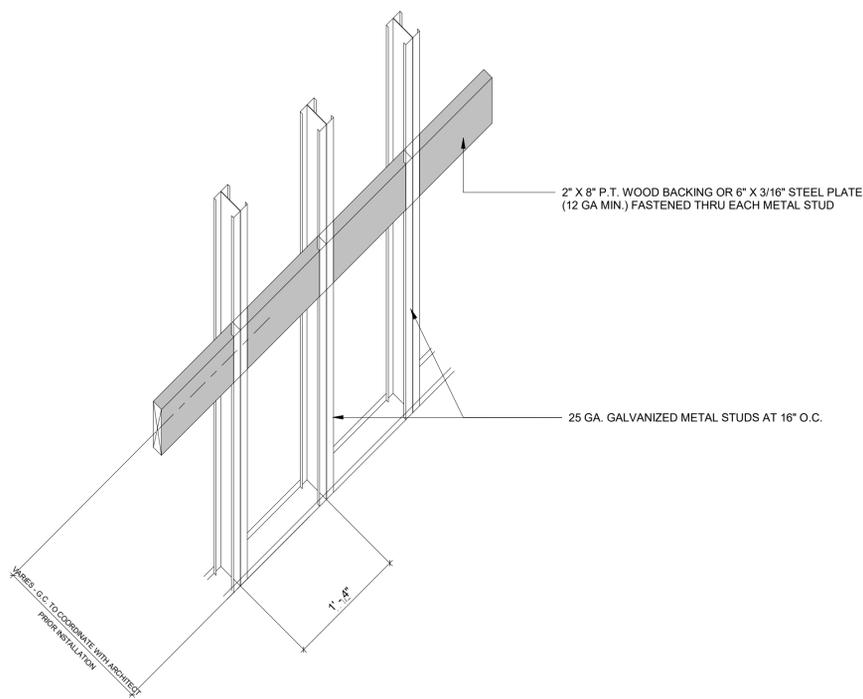


**ELEVATION**  
REINFORCED WALLS FOR GRAB BARS @ BATHTUBS

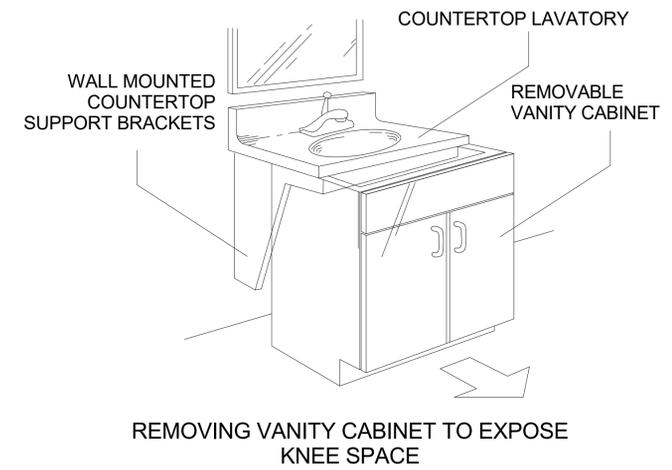


**ELEVATION**  
REINFORCED WALLS FOR GRAB BARS @ SHOWERS

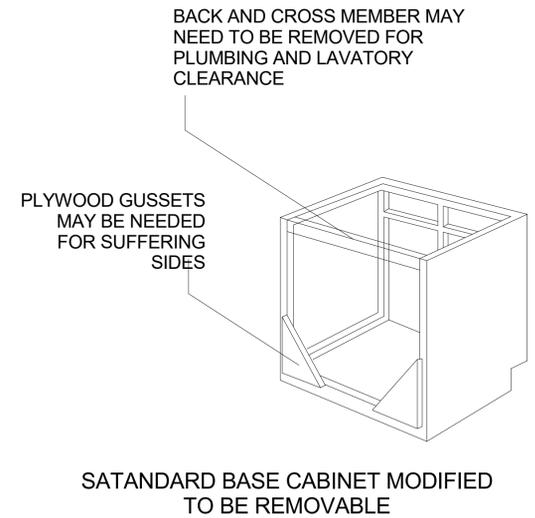
**NOTE:**  
1. BLOCKING SHALL BE SECURELY FASTENED TO NOT LESS THAN TWO STUDS.  
2. BLOCKING FOR FUTURE GRAB BARS SHALL RESIST A MAX OF 500 LBS. OF FORCE IN ANY DIRECTION



**3** WALL BACKING / REINFORCING DETAIL  
SCALE 1 1/2" = 1'-0"



**1** REMOVABLE VANITY CABINET DETAIL  
SCALE 3/8" = 1'-0"



**2** REMOVABLE VANITY CABINET DETAIL  
SCALE 3/8" = 1'-0"

PROJECT, ADDRESS AND OWNER:

**57 WILTON MANORS**

1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER

HOME EQUITUS VENTURES, LLC 4111  
NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:  
**ZEPHYR ENGINEERING**  
5451 PIERCE ST  
HOLLYWOOD, FL  
1 (786) 302 7693  
LANDSCAPE ARCHITECT:  
**GREEN EARTH**  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1 (954) 638 9625

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	///
Fire Prev.	///
Planning	///
Zoning	///
Building	///
Structural	///
Electrical	///
Plumbing	///
Mech.	///
S. Waste	///

REVISIONS:

No.	Description

**PERMIT SET**

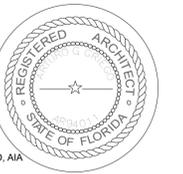
PROJECT No.: 2157  
ISSUE DATE: 11 / 17 / 2021  
REVISIONS: No

FAIR HOUSING ACT DETAILS

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:

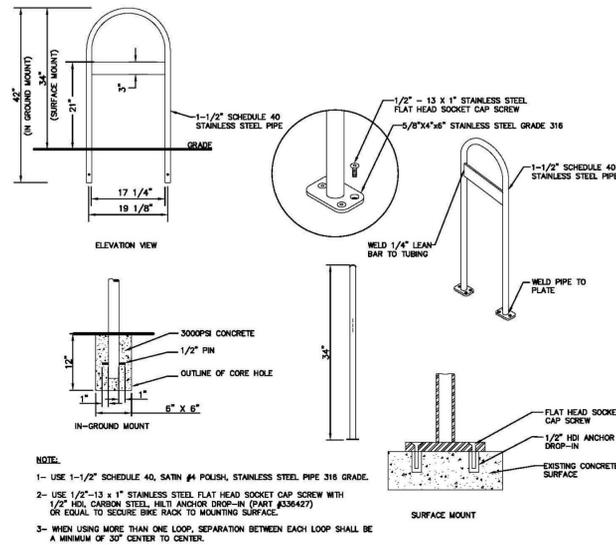


SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

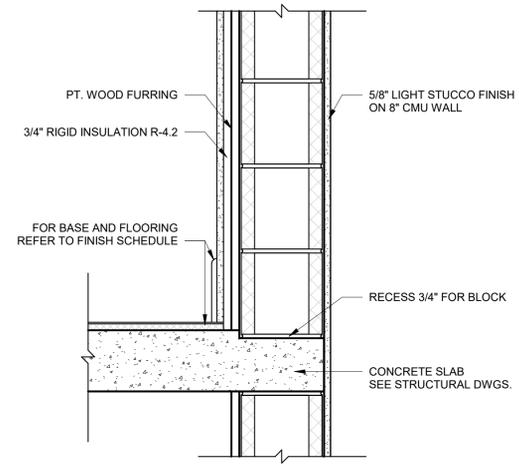
SHEET No.:

**A5-1.03**

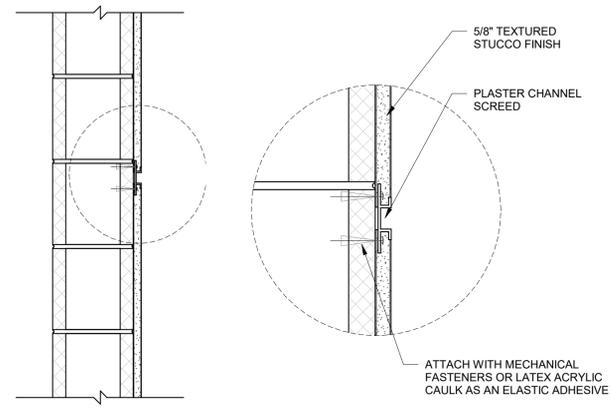
ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



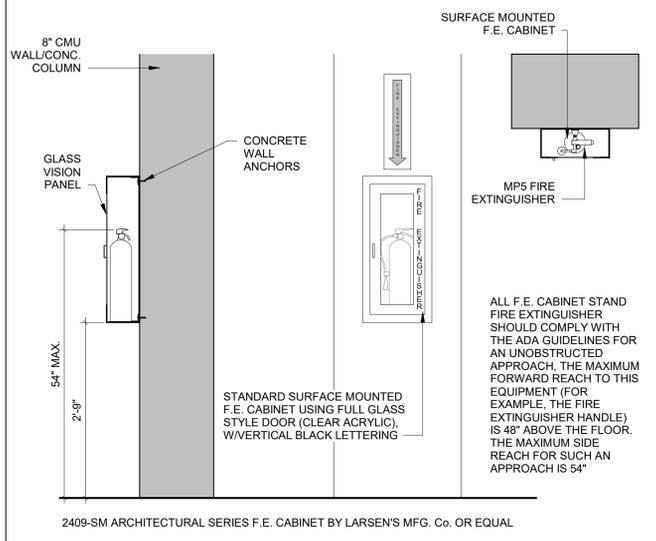
**4 BIKE RACK DETAILS**  
 SCALE 1 1/2" = 1'-0"



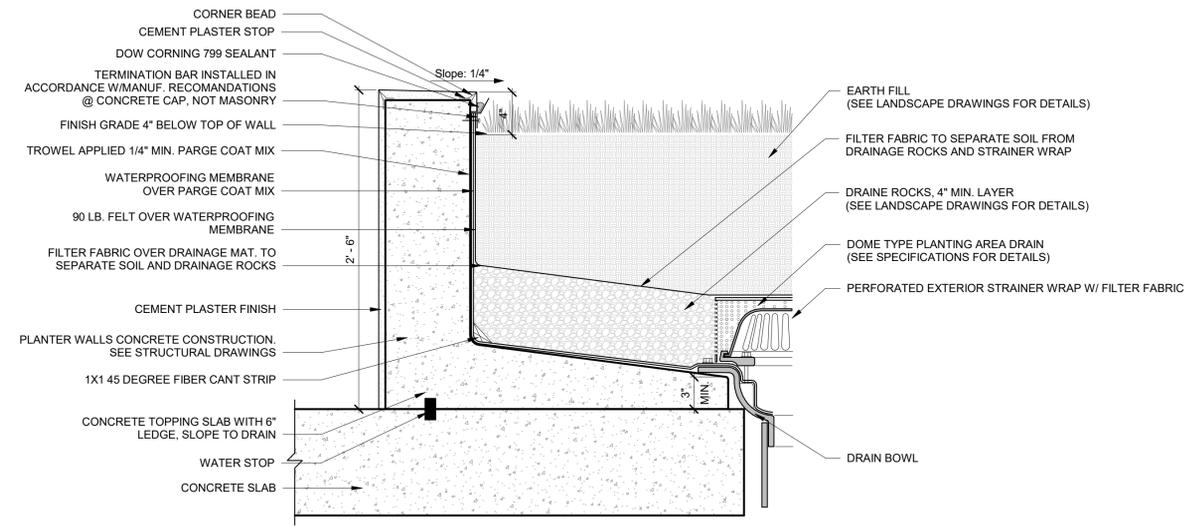
**3 RECESS BLOCK DETAIL**  
 SCALE 1 1/2" = 1'-0"



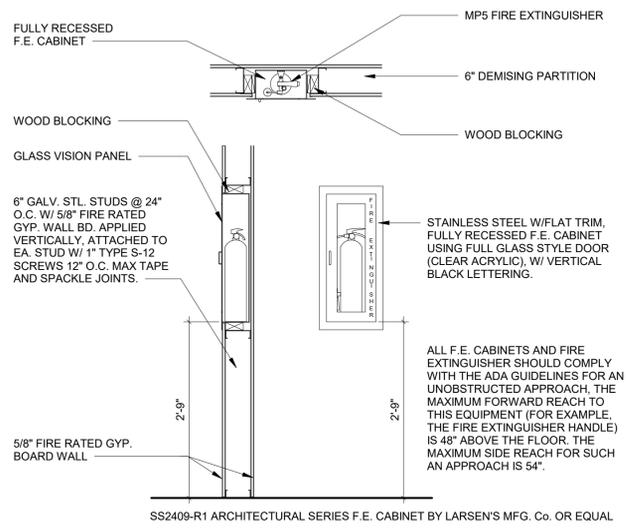
**2 STUCCO REVEAL DETAIL**  
 SCALE 1 1/2" = 1'-0"



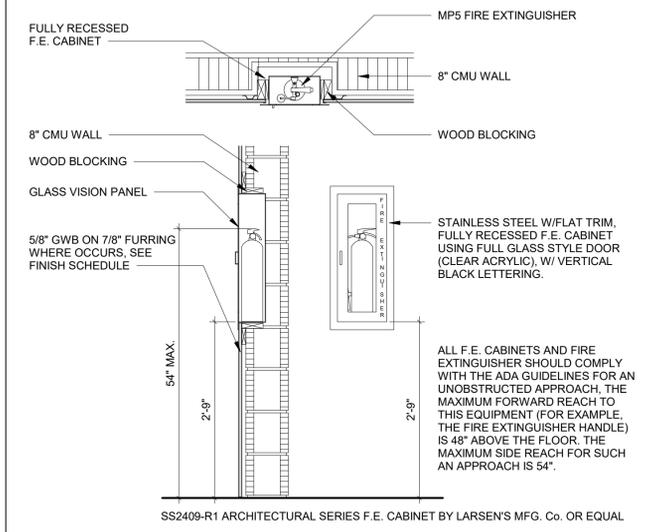
**1 WM FIRE EXTINGUISHER CAB**  
 SCALE 3/4" = 1'-0"



**5 PLANTER DETAIL**  
 SCALE 1 1/2" = 1'-0"



**6 WM FIRE EXTINGUISHER CAB**  
 SCALE 3/4" = 1'-0"



PROJECT, ADDRESS AND OWNER:  
**57 WILTON MANORS**  
 1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER:  
 HOME EQUITES VENTURES, LLC 4111  
 NW 17 AVE  
 OAKLAND PARK, FL

ARCHITECT:  
 G3ac  
 975 Arthur Godfrey rd., suite 401  
 miami beach florida 33140  
 t 305 783 8471 e admin@g3ac.com  
 w www.g3ac.com | #A26003670

CONSULTING ENGINEERS:  
 STRUCTURAL ENGINEER:  
 MEP:  
 CIVIL ENGINEER:  
**ZEPHYR ENGINEERING**  
 5451 PIERCE ST  
 HOLLYWOOD, FL  
 11786 302 7693  
 LANDSCAPE ARCHITECT:  
**GREEN EARTH**  
 LANDSCAPE ARCHITECTURE  
 HOLLYWOOD, FL  
 1954 638 8625

Reviewed for CODE COMPLIANCE

	Signature	Date
P. Works	_____	__/__/
Fire Prev.	_____	__/__/
Planning	_____	__/__/
Zoning	_____	__/__/
Building	_____	__/__/
Structural	_____	__/__/
Electrical	_____	__/__/
Plumbing	_____	__/__/
Mech.	_____	__/__/
S. Waste	_____	__/__/

REVISIONS:

No.	Description	Date

**PERMIT SET**

PROJECT No.: 2157  
 ISSUE DATE: 11 / 17 / 2021  
 REVISIONS: No

MISCELLANEOUS DETAILS

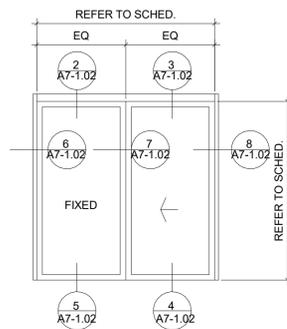
SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

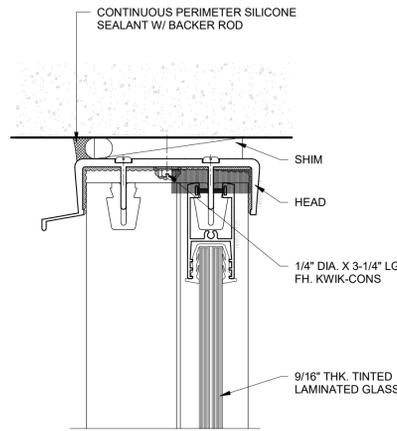
SEAL:  


SIGNATURE:  
 ARTURO G. GRIEGO, AIA  
 AR94011

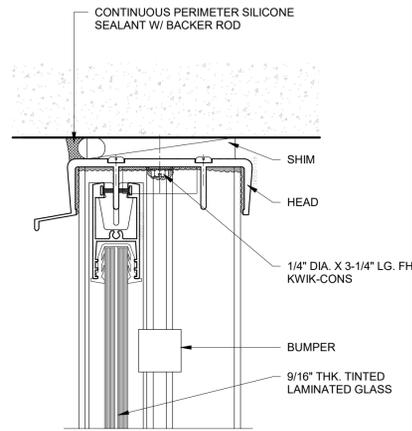
SHEET No.:  
**A6-1.01**  
 ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



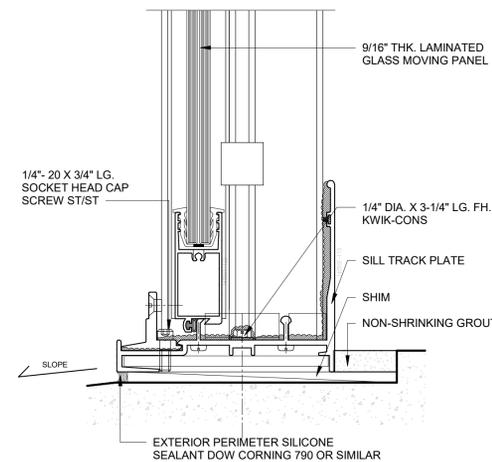
**1** SLIDING DOOR ELEVATION1  
SCALE 6" = 1'-0"



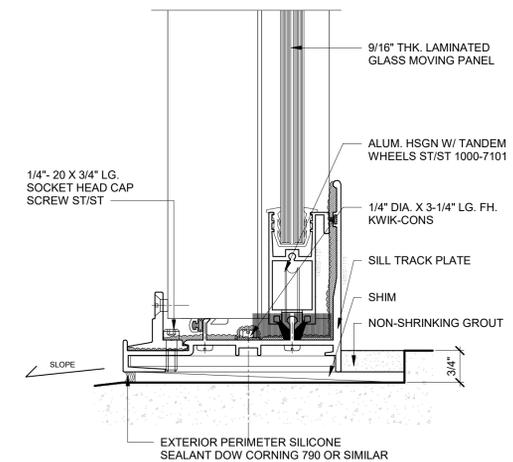
**2** HEADER DETAIL  
SCALE 6" = 1'-0"



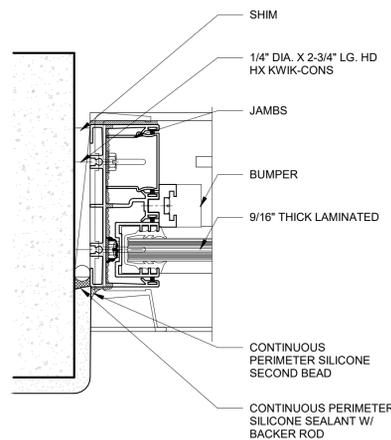
**3** HEADER DETAIL  
SCALE 6" = 1'-0"



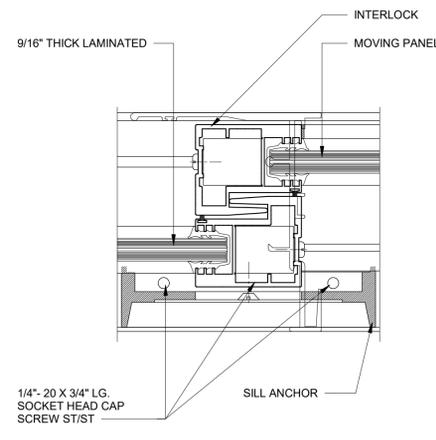
**4** SILL DETAIL  
SCALE 6" = 1'-0"



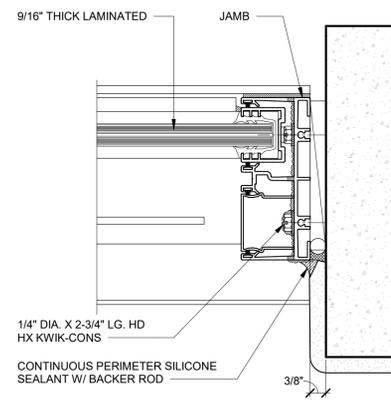
**5** SILL DETAIL  
SCALE 6" = 1'-0"



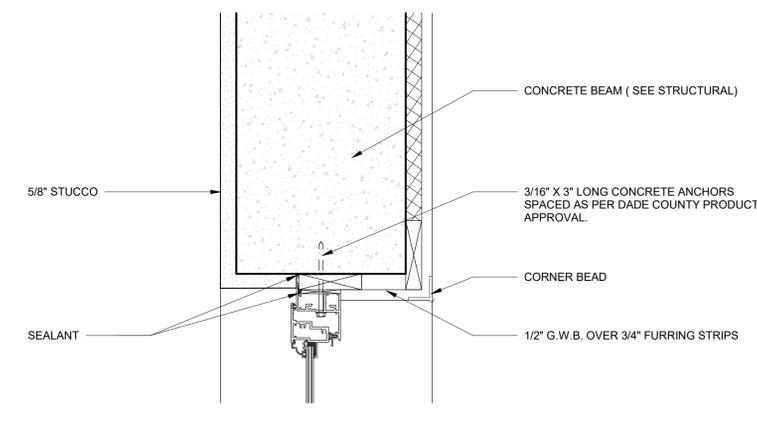
**6** JAMB DETAIL  
SCALE 6" = 1'-0"



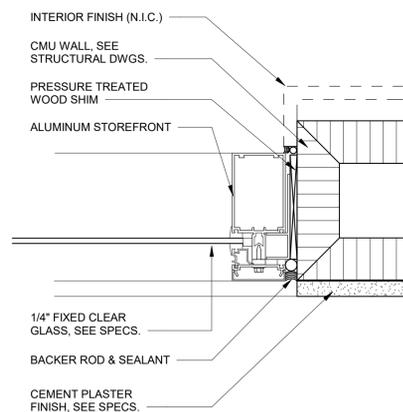
**7** MULLION DETAIL  
SCALE 6" = 1'-0"



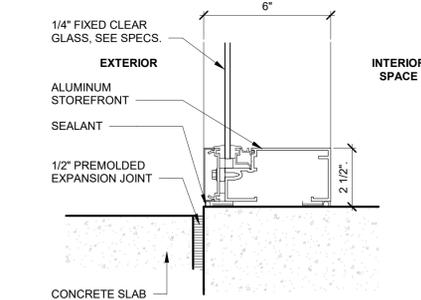
**8** JAMB DETAIL  
SCALE 6" = 1'-0"



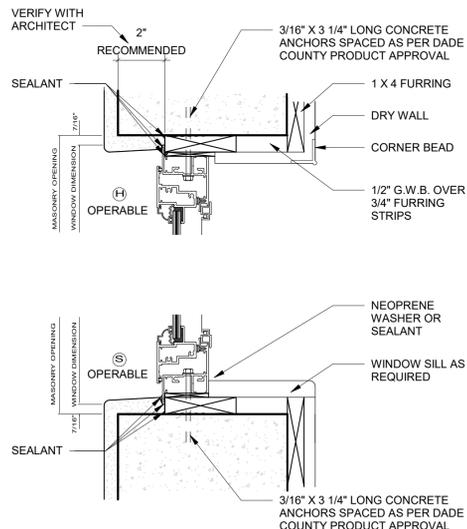
**9** SIDELIGHT-HEADER  
SCALE 3" = 1'-0"



**10** SIDELIGHT - JAMB  
SCALE 3" = 1'-0"

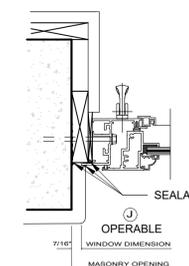


**11** SIDELIGHT - SILL  
SCALE 3" = 1'-0"



**12** WINDOW HEAD / SILL  
SCALE 3" = 1'-0"

GENERAL NOTE: ALL DOORS AND WINDOWS UNDER SEPARATE PERMIT. CONTRACTOR TO SUBMIT PRODUCT APPROVAL AND SHOP DRAWINGS TO COMPLY WITH FBC 1707



**13** WINDOW JAMB  
SCALE 3" = 1'-0"

PROJECT, ADDRESS AND OWNER:

**57 WILTON MANORS**

1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER:

HOME EQUITES VENTURES, LLC 4111  
NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:



G3sec  
975 Arthur Godfrey rd. suite 401  
miami beach florida 33140  
t 305 783 8471 e admin@g3sec.com  
w www.g3sec.com | #AA26003670

CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

**ZEPHYR ENGINEERING**

5451 PIERCE ST  
HOLLYWOOD, FL  
1 (786) 302 7693

LANDSCAPE ARCHITECT:

**GREEN EARTH**

LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1 (954) 638 8625

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	///
Fire Prev.	///
Planning	///
Zoning	///
Building	///
Structural	///
Electrical	///
Plumbing	///
Mech.	///
S. Waste	///

REVISIONS:

No.	Description

**PERMIT SET**

PROJECT No.: 2157  
ISSUE DATE: 11 / 17 / 2021  
REVISIONS: No

**SLIDING DOOR & WINDOW DETAIL**

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:

SIGNATURE:

ARTURO G. GRIEGO, AIA  
AR94011



SHEET No.:

**A6-1.02**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

PROJECT, ADDRESS AND OWNER:

**57 WILTON MANORS**

1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER

HOME EQUITES VENTURES, LLC 4111  
NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

**ZEPHYR ENGINEERING**

5451 PIERCE ST  
HOLLYWOOD, FL  
1 (786) 302 7893

LANDSCAPE ARCHITECT:

**GREEN EARTH**

LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1 (954) 638 8625

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

No.	Description

**PERMIT SET**

PROJECT No.: 2157  
ISSUE DATE: 11 / 17 / 2021  
REVISIONS: No

THRESHOLD AND MISC.DETAILS

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SIGNATURE:

ARTURO G. GRIEGO, AIA

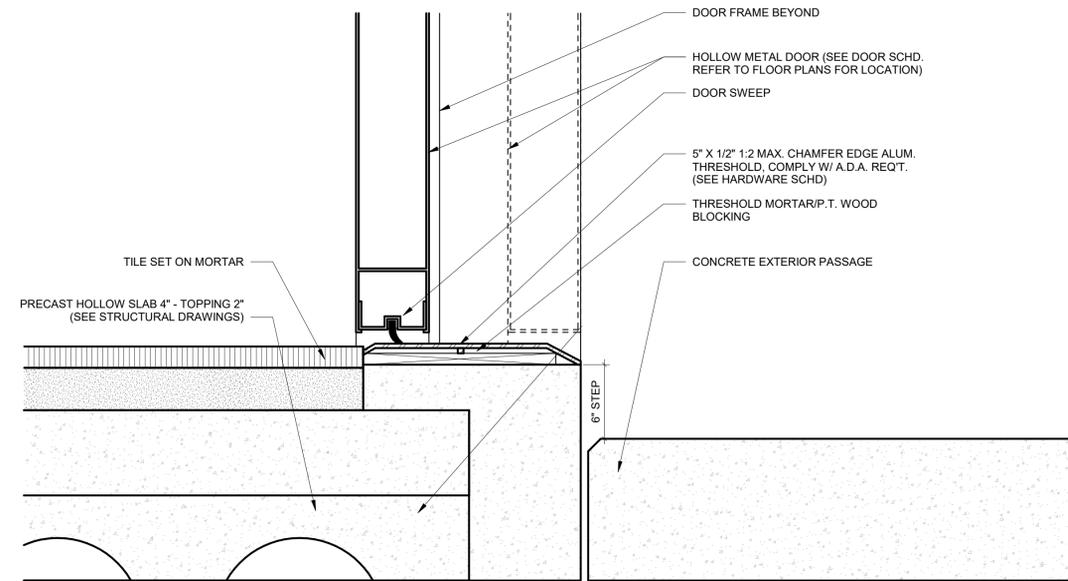
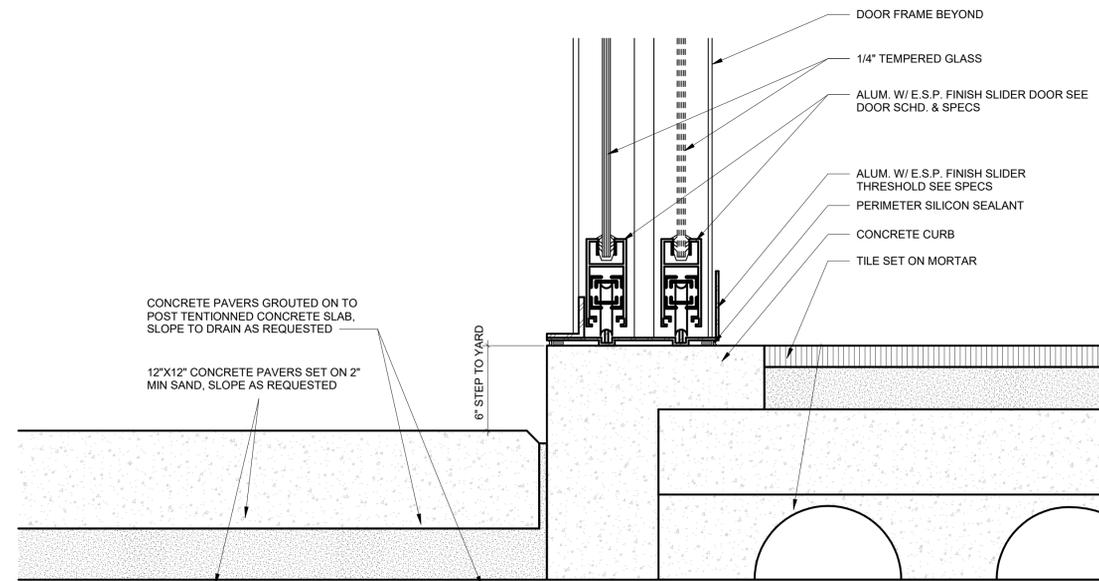
AR94011



SHEET No.:

**A6-1.03**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

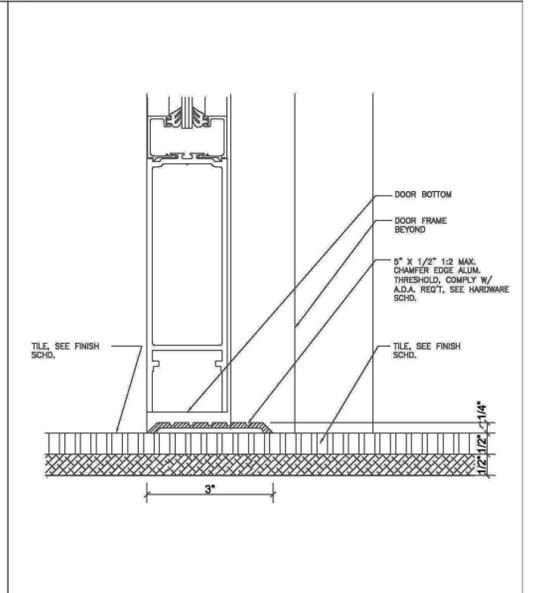
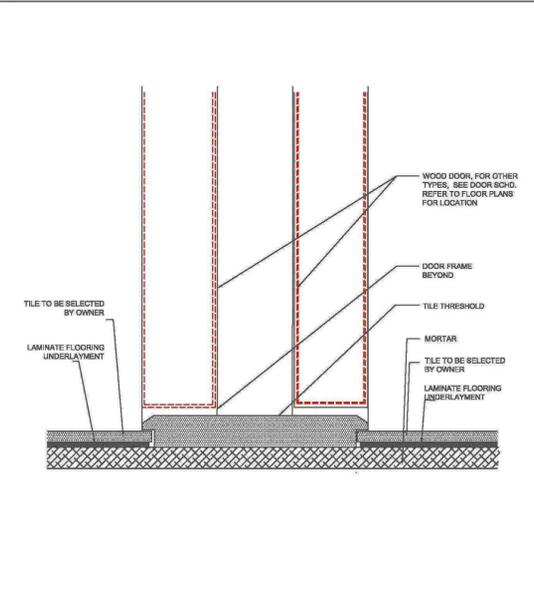
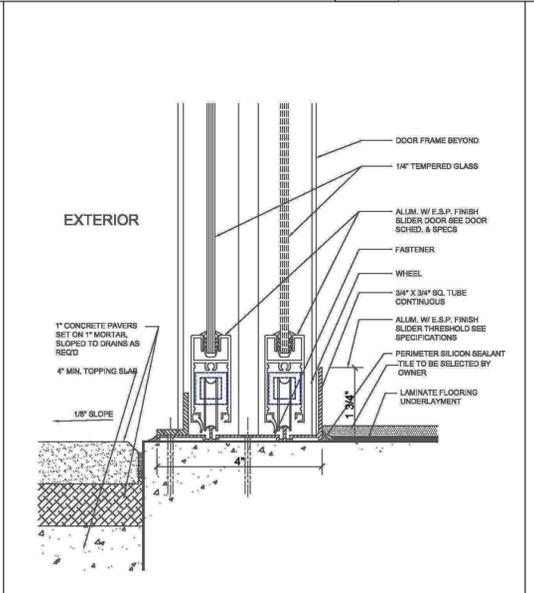
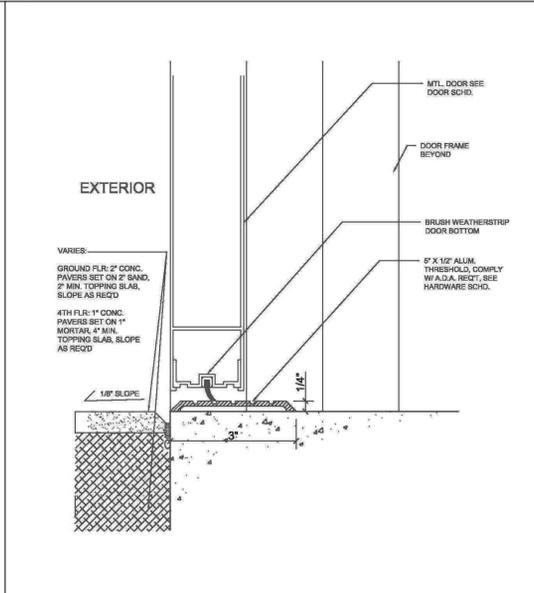
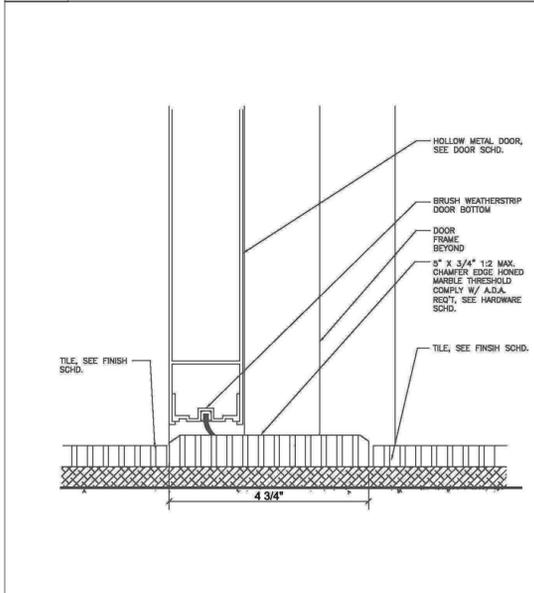


**2 BACK DOOR THRESHOLD**

SCALE 6" = 1'-0"

**1 FRONT DOOR THRESHOLD**

SCALE 6" = 1'-0"



**3 INTERIOR DOOR THRESHOLD**

SCALE 6" = 1'-0"

**4 INTERIOR THRESHOLD**

SCALE 6" = 1'-0"

**5 EXTERIOR THRESHOLD**

SCALE 6" = 1'-0"

**6 INTERIOR THRESHOLD**

SCALE 6" = 1'-0"

**7 INTERIOR THRESHOLD**

SCALE 6" = 1'-0"

**UL System No. CAJ-2392**  
F-Rating = 1 Hr  
T-Rating = 0 Hr

**1 or 2 Hour Fire Rated Through Penetration Firestop for Single Plastic Pipe through Gypsum Walls using TREMstop IA.**

**WL 2129** F-Rating = 1 and 2 Hr. T-Rating = 2 Hr.

Drawing not to scale

**UL** Classified System

**TREMCO**  
3735 Green Rd.  
Beachwood, OH, 44122

1. **Floor or Wall Assembly** - Will generally include reinforced lightweight or normal weight (105-150 pcf) concrete. But may also be concrete masonry blocks. **Concrete Blocks** - Min. stem of opening is 20 in. See Concrete Blocks (CAJ) entries in the Resistance Directory for names of manufacturers.

2. **Through Penetrants** - One non-metallic pipe to be installed eccentrically or concentrically within the opening with an annular space of 1/4" to 1/2" max. If 1/4" gap to be tightly supported on both sides of floor or wall assembly, the following types and sizes of non-metallic pipe may be used:  
A) **Polyvinyl Chloride (PVC) Pipe** - Nom. 4 in. diam. (or smaller) Schedule 40 steel or carbon steel PVC pipe for use in closed (pressure or suction) piping systems.  
B) **Chlorinated Polyvinyl Chloride (CPVC)** - Nom. 4 in. diam. (or smaller) CPVC pipe for use in closed (pressure or suction) piping systems.

3. **Sealing System** - The flexible system shall consist of the following:  
A) **FR, Void or Coily Material** - Nom. 2 in. wide strip, each applied in a single wrap and tightly secured around the pipe or both surfaces of wall or ceiling. The annular space shall be min. 1/4" to max. 1-3/8" within the firestop system.  
B) **Plastic Pipe** - Nom. 2" diam. (or smaller) CPVC pipe for use in closed piping systems.  
C) **TREMstop IA** - Min. 1/2" thickness of sealant applied within opening. Additional sealant to be installed such that a min. 1/4" crown is formed around the penetrating item.

**HILTI** SYSTEMS  
Reproduced with the permission of HILTI, Inc. © 2010

**CLASSIFIED**  
**UL** LISTED

**UL System No. CAJ-1179**  
F-Rating = 3 Hr.  
T-Rating = 0 Hr.

**3 Hour Fire Rated Through Penetration Firestop for Single Metal Pipe through Concrete Floors or Walls using FYRE-SIL or FYRE-SIL S/L.**

**CAJ 1179** F-Rating = 3 Hr. T-Rating = 0 Hr.

Drawing not to scale

**UL** Classified System

**TREMCO**  
3735 Green Rd.  
Beachwood, OH, 44122

1. **Pre-Rated Concrete Floors or Block Walls** = Min. 4-1/2" thickness

2. **Metallic Pipe:** A) Steel Pipe - 8" diam. (or smaller) Sch. 10 (or heavier) steel pipe.  
B) Conduit - 4" diam. (or smaller) EMT or steel conduit.  
C) Copper Tubing - 4" diam. (or smaller) Type L (or heavier) copper tubing.  
D) Copper Pipe - 4" diam. (or smaller) Regular (or heavier) copper pipe.  
The annular space shall be min. 1/2" to max. 3-3/8" within the firestop system.

3. **Packing Material** - Min. 3-1/2" thick mineral wool (min. 6.0 pcf) insulation, firmly packed into opening as a permanent form.

4. **FYRE-SIL or FYRE-SIL S/L** - Min. 1/2" thickness of sealant applied within annulus, flush with top of floor surface or with both sides of the wall assembly.

NOTE: Apply FYRE-SIL S/L to Floor Applications Only.

**HILTI** SYSTEMS  
Reproduced with the permission of HILTI, Inc. © 2010

**CLASSIFIED**  
**UL** LISTED

**UL System No. WL 1158**  
F-Rating = 1 and 2 Hr.  
T-Rating = 1/4 Hr.

**1 or 2 Hour Fire Rated Through Penetration Firestop for Single Metallic Pipe through Gypsum Walls using TREMstop IA.**

**WL 1158** F-Rating = 1 and 2 Hr. T-Rating = 1/4 Hr.

Drawing not to scale

**UL** Classified System

**TREMCO**  
3735 Green Rd.  
Beachwood, OH, 44122

1. **Pre-Rated Gypsum Wallboard/Stud Wall Assembly**

2. **Metallic Pipe - A)** Steel Pipe - 12" diam. (or smaller) Sch. 10 (or heavier) steel pipe.  
B) Iron Pipe - 12" diam. (or smaller) cast or ductile iron pipe.  
C) Copper Tubing - 4" diam. (or smaller) Type L (or heavier) copper tubing.  
D) Copper Pipe - 4" diam. (or smaller) Regular (or heavier) copper pipe.  
The annular space shall be min. 0" to max. 1" within the firestop system.

3. **TREMstop IA** - Min. 1/2" thickness of sealant applied within opening. Min. 1/4" cant bead of sealant to be applied at point contact.

**HILTI** SYSTEMS  
Reproduced with the permission of HILTI, Inc. © 2010

**CLASSIFIED**  
**UL** LISTED

**UL System No. CAJ 5120**  
F-Rating = 2 Hour  
T-Rating = 1-1/2 Hour

**2 Hour Fire Rated Through Penetration Firestop for Insulated Metal Pipe through Concrete Floors or Walls using TREMstop IA.**

**CAJ 5120** F-Rating = 2 Hour T-Rating = 1-1/2 Hour

Drawing not to scale

**UL** Classified System

**TREMCO**  
3735 Green Rd.  
Beachwood, OH, 44122

1. **Pre-Rated Concrete Floor or Wall Assembly** = Min. 4-1/2" thickness

2. **Metallic Pipe:** A) Steel Pipe - 8" diam. (or smaller) Sch. 10 (or heavier) steel pipe.  
B) Iron Pipe - 8" diam. (or smaller) cast or ductile iron.  
C) Pipe Covering - Nom. 3" thick Cellular Glass Insulation.  
The annular space shall be min. 0" to max. 1-3/8" within the firestop system.

3. **Metal Jacket** - Min. 10" wide aluminum jacket tightly wrapped around pipe insulation, secured with hose clamp. Jacket to be abutting surface of sealant on top surface of floor or both surfaces of wall.

4. **TREMstop IA** - Min. 1/2" thickness of sealant applied within opening, flush with top surface of floor or both surfaces of wall assembly. A min. 1/2" diam. cant bead of sealant shall be applied at the insulation/concrete interface at the point contact locations.

**HILTI** SYSTEMS  
Reproduced with the permission of HILTI, Inc. © 2010

**CLASSIFIED**  
**UL** LISTED

**UL System No. WL 1243**  
F-Rating = 1 and 2 Hr (See Item 1)  
T-Rating = 0 Hr

**2 Hour Fire Rated Through Penetration Firestop for Multiple Cables through Concrete Floors or Walls using TREMstop IA.**

**WL 1243** F-Rating = 1 and 2 Hr. T-Rating = 0 Hr.

Drawing not to scale

**UL** Classified System

**TREMCO**  
3735 Green Rd.  
Beachwood, OH, 44122

1. **Pre-Rated Concrete Floor or Block Wall Assembly** - Min. 4-1/2" Thickness. Maximum diameter of opening = 6".

2. **Cables** - Any combination of the following types and sizes may be used:  
A) Max 1 C - 500 kcmil cable with PVC insulation and jacket  
B) Max 1 C - 350 kcmil cable with XLPE insulation and jacket  
C) Max 3 C - No. 6 cable with PVC insulation and jacket  
D) Max 300 pair No. 24 AWG copper conductor telephone cables  
E) Max 24 fibers - 62.5/125um dielectric fiber optic cable with HDPE jacket  
NOTE: T-Rating is 0 Hr for Cables A & B, 1/2 Hr. for Cables C & D and 1 Hr for Cable E.

3. **Packing Material** - Min. 4" thickness of mineral wool insulation (min. 4.0 pcf) firmly packed into opening as a permanent form.

4. **TREMstop IA** - Min. 1/2" thickness of sealant applied within opening, flush with top surface of floor or both surfaces of wall assembly.

**HILTI** SYSTEMS  
Reproduced with the permission of HILTI, Inc. © 2010

**CLASSIFIED**  
**UL** LISTED

PROJECT, ADDRESS AND OWNER:  
**57 WILTON MANORS**  
1308 NE 24 STREET WILTON MANORS, FL 33305

OWNER:  
**HOME EQUITES VENTURES, LLC** 4111  
NW 17 AVE OAKLAND PARK, FL

ARCHITECT:  
**G3c**  
975 Arthur Godfrey rd., suite 401  
Miami beach florida 33140  
305 783 8471 • admin@g3c.com  
www.g3c.com | #AA26003670

CONSULTING ENGINEERS:  
STRUCTURAL ENGINEER:

MEP:  
CIVIL ENGINEER:  
**ZEPHYR ENGINEERING**  
5461 PIERCE ST  
HOLLYWOOD, FL  
1 (786) 302 7693  
LANDSCAPE ARCHITECT:  
**GREEN EARTH**  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1 (954) 638 9625

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

No.	Description	Date

**PERMIT SET**

PROJECT NO.: 2157  
ISSUE DATE: 11 / 17 / 2021  
REVISIONS: No

FIRE PENETRATION DETAILS

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECTS OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY.

REGISTERED ARCHITECT  
STATE OF FLORIDA

SIGNATURE:  
**ARTURO G. GRIEGO, AIA**  
AR94011

SHEET NO.: **A6-1.04**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

**UL System No. WL 1243**  
F-Rating = 1 and 2 Hr (See Item 1)  
T-Rating = 0 Hr

**2 Hour Fire Rated Through Penetration Firestop for Insulated Metal Pipe through Gypsum Walls using TREMstop IA.**

**WL 5081** F-Rating = 2 Hr. T-Rating = 1/2 Hr.

Drawing not to scale

**UL** Classified System

**TREMCO**  
3735 Green Rd.  
Beachwood, OH, 44122

1. **Pre-Rated Gypsum Wallboard/Stud Wall Assembly**

2. **Metallic Pipe - A)** Steel Pipe - Nom. 4" diam. (or smaller) Sch. 10 (or heavier) steel pipe.  
B) Iron Pipe - Nom. 4" diam. (or smaller) cast or ductile iron pipe.  
C) Copper Tubing - Nom. 4" diam. (or smaller) Type L (or heavier) copper tubing.  
D) Copper Pipe - Nom. 4" diam. (or smaller) Regular (or heavier) copper pipe.  
E) Conduit - Nom. 4" diam. (or smaller) EMT or steel conduit.  
The annular space shall be min. 0" to max. 1/2".

3. **Pipe Covering** - Nom. 3/4" thick (or less) AB/PVC flexible foam insulation. The annular space shall be min. 0" to max. 3/8".

4. **Packing Material (optional)** - Foam backer rod firmly placed into opening as a permanent form.

5. **TREMstop IA** - Min. 1" thickness of sealant applied within annulus flush with both sides of wall assembly. At point contact a min. 5/8" bead of sealant shall be installed at the wallboard/insulation interface. A 5/8" crown of sealant shall be formed around the penetrating item.

**HILTI** SYSTEMS  
Reproduced with the permission of HILTI, Inc. © 2010

**CLASSIFIED**  
**UL** LISTED

**UL System No. WL 5083**  
F-Rating = 2 Hr.  
T-Rating = 2 Hr.

**2 Hour Fire Rated Through Penetration Firestop for Insulated Metal Pipe through Gypsum Walls using TREMstop IA.**

**WL 5083** F-Rating = 2 Hr. T-Rating = 2 Hr.

Drawing not to scale

**UL** Classified System

**TREMCO**  
3735 Green Rd.  
Beachwood, OH, 44122

1. **Pre-Rated Gypsum Wallboard/Stud Wall Assembly**

2. **Metallic Pipe - A)** Steel Pipe - Nom. 8" diam. (or smaller) Sch. 10 (or heavier) steel pipe.  
B) Iron Pipe - Nom. 8" diam. (or smaller) cast or ductile iron pipe.  
C) Copper Tubing - 4" diam. (or smaller) Type L (or heavier) copper tubing.  
D) Copper Pipe - 4" diam. (or smaller) Regular (or heavier) copper pipe.  
E) Conduit - Nom. 4" diam. (or smaller) EMT or steel conduit.  
The annular space shall be min. 0" to max. 1/2".

3. **Packing Material (optional)** - Foam backer rod firmly packed into opening as a permanent form.

4. **TREMstop IA** - Min. 1" thickness of sealant applied within the annulus, flush with both surfaces of wall assembly. At point contact a min. 5/8" bead of sealant shall be installed at wallboard/insulation interface. A 5/8" thick crown of sealant shall be formed around the penetrating item.

5. **Metal Jacket** - Min. 10" wide aluminum jacket tightly wrapped around pipe insulation, secured with hose clamp. Jacket to be abutting surface of sealant on both sides of wall.

**HILTI** SYSTEMS  
Reproduced with the permission of HILTI, Inc. © 2010

**CLASSIFIED**  
**UL** LISTED

**UL System No. CAJ 3141**  
F-Rating = 2 Hr.  
T-Rating = 0, 1/2 & 1 Hr.

**2 Hour Fire Rated Through Penetration Firestop for Multiple Cables through Concrete Floors or Walls using TREMstop IA.**

**CAJ 3141** F-Rating = 2 Hr. T-Rating = 0, 1/2 & 1 Hr.

Drawing not to scale

**UL** Classified System

**TREMCO**  
3735 Green Rd.  
Beachwood, OH, 44122

1. **Pre-Rated Concrete Floor or Block Wall Assembly** - Min. 4-1/2" Thickness. Maximum diameter of opening = 6".

2. **Cables** - Any combination of the following types and sizes may be used:  
A) Max 1 C - 500 kcmil cable with PVC insulation and jacket  
B) Max 1 C - 350 kcmil cable with XLPE insulation and jacket  
C) Max 3 C - No. 6 cable with PVC insulation and jacket  
D) Max 300 pair No. 24 AWG copper conductor telephone cables  
E) Max 24 fibers - 62.5/125um dielectric fiber optic cable with HDPE jacket  
NOTE: T-Rating is 0 Hr for Cables A & B, 1/2 Hr. for Cables C & D and 1 Hr for Cable E.

3. **Packing Material** - Min. 4" thickness of mineral wool insulation (min. 4.0 pcf) firmly packed into opening as a permanent form.

4. **TREMstop IA** - Min. 1/2" thickness of sealant applied within opening, flush with top surface of floor or both surfaces of wall assembly.

**HILTI** SYSTEMS  
Reproduced with the permission of HILTI, Inc. © 2010

**CLASSIFIED**  
**UL** LISTED

**UL System No. WL 1243**  
F-Rating = 1 and 2 Hr (See Item 1)  
T-Rating = 0 Hr

**2 and 3 Hour Fire Rated Through Penetration Firestop for Bus Ducts through Concrete Floors and Walls using FYRE-SIL or FYRE-SIL S/L and TREMstop WS.**

**CAJ 6007** F-Rating = 2 & 3 Hour T-Rating = 0 & 1/2 Hour

Drawing not to scale

**UL** Classified System

**TREMCO**  
3735 Green Rd.  
Beachwood, OH, 44122

1. **Pre-Rated Concrete Floor or Wall Assembly** = Min. 4-1/2" thickness

2. **Busway** - Nom. 23" wide (or smaller) by 4.5" deep "I" shaped aluminum enclosure.

3. **Packing Material** - Min. 4" thickness of mineral wool insulation (min. 4.0 pcf) installed into opening as a permanent form.

4. **TREMstop WS** - Intumescent wrap strips are installed in several pieces to cover entire perimeter and center portion of the penetrating item in two layers.

NOTE: When TREMstop WS is not installed, F-Rating = 2 Hr. and T-Rating = 0 Hr.

5. **FYRE-SIL or FYRE-SIL S/L** - Min. 1/2" thickness of sealant applied within opening, flush with top surface of floor or both surfaces of wall assembly.

NOTE: Install FYRE-SIL S/L in Floor Applications Only.

6. **FYRE-SIL** - Min. 1/4" sealant applied at the ends of the busway over the top of the wrap strips.

**HILTI** SYSTEMS  
Reproduced with the permission of HILTI, Inc. © 2010

**CLASSIFIED**  
**UL** LISTED

**UL System No. WL 2128**  
F-Rating = 1 and 2 Hr.  
T-Rating = 2 Hr.

**1 or 2 Hour Fire Rated Through Penetration Firestop for Single Plastic Pipe through Gypsum Walls using TREMstop IA.**

**WL 2128** F-Rating = 1 and 2 Hr. T-Rating = 2 Hr.

Drawing not to scale

**UL** Classified System

**TREMCO**  
3735 Green Rd.  
Beachwood, OH, 44122

1. **Pre-Rated Gypsum Wallboard/Stud Wall Assembly**

2. **Plastic Pipe** - Nom. 2" diam. (or smaller) CPVC pipe for use in closed piping systems.

3. **TREMstop IA** - Min. 1/2" thickness of sealant applied within opening. Additional sealant to be installed such that a min. 1/4" crown is formed around the penetrating item.

**HILTI** SYSTEMS  
Reproduced with the permission of HILTI, Inc. © 2010

**CLASSIFIED**  
**UL** LISTED

**UL System No. WL 2284**  
F-Rating = 1 Hr  
T-Rating = 1 Hr

**1 or 2 Hour Fire Rated Through Penetration Firestop for Multiple Cables through Gypsum Walls using TREMstop IA.**

**WL 3131** F-Rating = 1 & 2 Hr. T-Rating = 1/4 & 1/2 Hr.

Drawing not to scale

**UL** Classified System

**TREMCO**  
3735 Green Rd.  
Beachwood, OH, 44122

1. **Pre-Rated Gypsum Wallboard/Stud Wall Assembly**

2. **Metallic Pipe - A)** Steel Pipe - 3" diam. (or smaller) Sch. 40 (or heavier) steel pipe.  
B) Conduit - 3" diam. (or smaller) EMT or steel conduit.  
C) Copper Tubing - 3" diam. (or smaller) Type L (or heavier) copper tubing.  
D) Copper Pipe - 3" diam. (or smaller) Regular (or heavier) copper pipe.  
E) Iron Pipe - 3" diam. (or smaller) cast or ductile iron pipe.  
The annular space between pipes and openings is min. 1/4" to max. 15/16".

3. **Pipe Covering** - Nom. 3/4" thickness of flexible foam (AB/PVC) pipe insulation.

4. **TREMstop WS** - Intumescent wrap strips wrapped around pipe covering (item 3) two times.

5. **Packing Material** - Min. 4" thickness of mineral wool insulation (min. 4.0 pcf) firmly packed into the opening as a permanent form.

6. **FYRE-SIL** - Min. 1/2" thickness of sealant applied within opening, flush with top surface of floor or both sides of wall assembly.

**HILTI** SYSTEMS  
Reproduced with the permission of HILTI, Inc. © 2010

**CLASSIFIED**  
**UL** LISTED

**UL System No. WL 2284**  
F-Rating = 1 Hr  
T-Rating = 1 Hr

**1 or 2 Hour Fire Rated Through Penetration Firestop for Multiple Cables through Gypsum Walls using TREMstop IA.**

**WL 3131** F-Rating = 1 & 2 Hr. T-Rating = 1/4 & 1/2 Hr.

Drawing not to scale

**UL** Classified System

**TREMCO**  
3735 Green Rd.  
Beachwood, OH, 44122

1. **Pre-Rated Concrete Floors or Block Walls** = Min. 4-1/2" thickness

2. **Metallic Pipe:** A) Steel Pipe - 3" diam. (or smaller) Sch. 40 (or heavier) steel pipe.  
B) Conduit - 3" diam. (or smaller) EMT or steel conduit.  
C) Copper Tubing - 3" diam. (or smaller) Type L (or heavier) copper tubing.  
D) Copper Pipe - 3" diam. (or smaller) Regular (or heavier) copper pipe.  
E) Iron Pipe - 3" diam. (or smaller) cast or ductile iron pipe.  
The annular space between pipes and openings is min. 1/4" to max. 15/16".

3. **Pipe Covering** - Nom. 3/4" thickness of flexible foam (AB/PVC) pipe insulation.

4. **TREMstop WS** - Intumescent wrap strips wrapped around pipe covering (item 3) two times.

5. **Packing Material** - Min. 4" thickness of mineral wool insulation (min. 4.0 pcf) firmly packed into the opening as a permanent form.

6. **FYRE-SIL** - Min. 1/2" thickness of sealant applied within opening, flush with top surface of floor or both sides of wall assembly.

**HILTI** SYSTEMS  
Reproduced with the permission of HILTI, Inc. © 2010

**CLASSIFIED**  
**UL** LISTED

**UL System No. WL 2284**  
F-Rating = 1 Hr  
T-Rating = 1 Hr

**1 or 2 Hour Fire Rated Through Penetration Firestop for Multiple Cables through Gypsum Walls using TREMstop IA.**

**WL 3131** F-Rating = 1 & 2 Hr. T-Rating = 1/4 & 1/2 Hr.

Drawing not to scale

**UL** Classified System

**TREMCO**  
3735 Green Rd.  
Beachwood, OH, 44122

1. **Pre-Rated Gypsum Wallboard/Stud Wall Assembly**

2. **Metallic Pipe - A)** Steel Pipe - 3" diam. (or smaller) Sch. 40 (or heavier) steel pipe.  
B) Conduit - 3" diam. (or smaller) EMT or steel conduit.  
C) Copper Tubing - 3" diam. (or smaller) Type L (or heavier) copper tubing.  
D) Copper Pipe - 3" diam. (or smaller) Regular (or heavier) copper pipe.  
E) Iron Pipe - 3" diam. (or smaller) cast or ductile iron pipe.  
The annular space between pipes and openings is min. 1/4" to max. 15/16".

3. **Pipe Covering** - Nom. 3/4" thickness of flexible foam (AB/PVC) pipe insulation.

4. **TREMstop WS** - Intumescent wrap strips wrapped around pipe covering (item 3) two times.

5. **Packing Material** - Min. 4" thickness of mineral wool insulation (min. 4.0 pcf) firmly packed into the opening as a permanent form.

6. **FYRE-SIL** - Min. 1/2" thickness of sealant applied within opening, flush with top surface of floor or both sides of wall assembly.

**HILTI** SYSTEMS  
Reproduced with the permission of HILTI, Inc. © 2010

**CLASSIFIED**  
**UL** LISTED

**UL System No. WL 2284**  
F-Rating = 1 Hr  
T-Rating = 1 Hr

**1 or 2 Hour Fire Rated Through Penetration Firestop for Multiple Cables through Gypsum Walls using TREMstop IA.**

**WL 3131** F-Rating = 1 & 2 Hr. T-Rating = 1/4 & 1/2 Hr.

Drawing not to scale

**UL** Classified System

**TREMCO**  
3735 Green Rd.  
Beachwood, OH, 44122

1. **Pre-Rated Gypsum Wallboard/Stud Wall Assembly**

2. **Metallic Pipe - A)** Steel Pipe - 3" diam. (or smaller) Sch. 40 (or heavier) steel pipe.  
B) Conduit - 3" diam. (or smaller) EMT or steel conduit.  
C) Copper Tubing - 3" diam. (or smaller) Type L (or heavier) copper tubing.  
D) Copper Pipe - 3" diam. (or smaller) Regular (or heavier) copper pipe.  
E) Iron Pipe - 3" diam. (or smaller) cast or ductile iron pipe.  
The annular space between pipes and openings is min. 1/4" to max. 15/16".

3. **Pipe Covering** - Nom. 3/4" thickness of flexible foam (AB/PVC) pipe insulation.

4. **TREMstop WS** - Intumescent wrap strips wrapped around pipe covering (item 3) two times.

5. **Packing Material** - Min. 4" thickness of mineral wool insulation (min. 4.0 pcf) firmly packed into the opening as a permanent form.

6. **FYRE-SIL** - Min. 1/2" thickness of sealant applied within opening, flush with top surface of floor or both sides of wall assembly.

**HILTI** SYSTEMS  
Reproduced with the permission of HILTI, Inc. © 2010

**CLASSIFIED**  
**UL** LISTED

**UL System No. WL 2128**  
F-Rating = 1 and 2 Hr.  
T-Rating = 2 Hr.

**1 or 2 Hour Fire Rated Through Penetration Firestop for Single Plastic Pipe through Gypsum Walls using TREMstop IA.**

**WL 2128** F-Rating = 1 and 2 Hr. T-Rating = 2 Hr.

Drawing not to scale

**UL** Classified System

**TREMCO**  
3735 Green Rd.  
Beachwood, OH, 44122

1. **Pre-Rated Gypsum Wallboard/Stud Wall Assembly**

2. **Plastic Pipe** - Nom. 2" diam. (or smaller) CPVC pipe for use in closed piping systems.

3. **TREMstop IA** - Min. 1/2" thickness of sealant applied within opening. Additional sealant to be installed such that a min. 1/4" crown is formed around the penetrating item.

**HILTI** SYSTEMS  
Reproduced with the permission of HILTI, Inc. © 2010

**CLASSIFIED**  
**UL** LISTED

PROJECT NO.: 2157  
ISSUE DATE: 11 / 17 / 2021  
REVISIONS: No

FIRE PENETRATION DETAILS

SCALE: N.T.S.

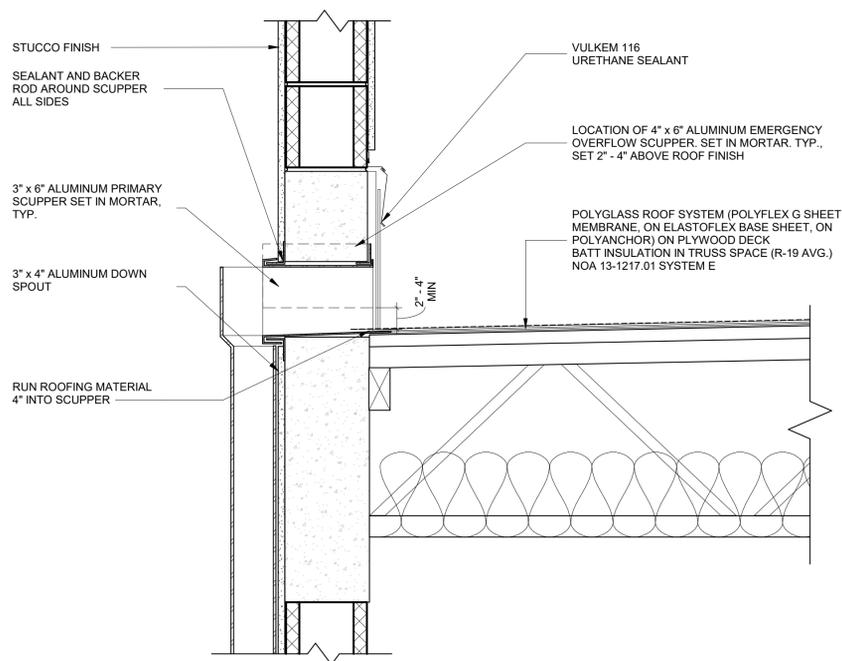
TO THE BEST OF THE ARCHITECTS OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY.

REGISTERED ARCHITECT  
STATE OF FLORIDA

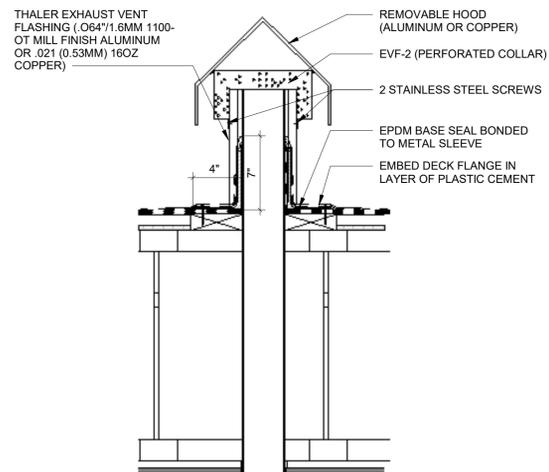
SIGNATURE:  
**ARTURO G. GRIEGO, AIA**  
AR94011

SHEET NO.: **A6-1.04**

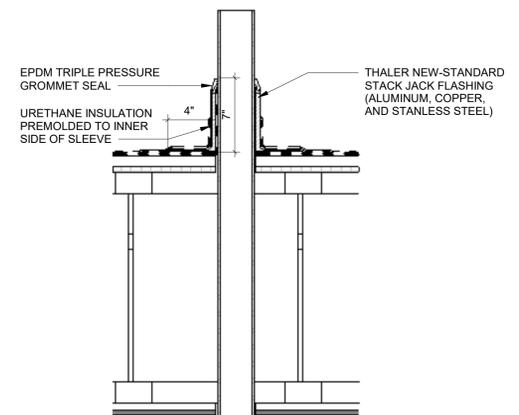
ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



**3** SCUPPER DETAIL  
SCALE 1 1/2" = 1'-0"



**2** TYPICAL VENT PIPE DETAIL  
SCALE 1 1/2" = 1'-0"



**1** TYPICAL PIPE FLASHING DETAIL  
SCALE 1 1/2" = 1'-0"

PROJECT, ADDRESS AND OWNER:

**57 WILTON MANORS**

1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER

HOME EQUITES VENTURES, LLC 4111  
NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

**ZEPHYR ENGINEERING**  
5451 PIERCE ST  
HOLLYWOOD, FL  
1 (786) 302 7893

LANDSCAPE ARCHITECT:

**GREEN EARTH**  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
1 (954) 638 8625

Reviewed for CODE COMPLIANCE

	Signature	Date
P. Works	_____	___/___/___
Fire Prev.	_____	___/___/___
Planning	_____	___/___/___
Zoning	_____	___/___/___
Building	_____	___/___/___
Structural	_____	___/___/___
Electrical	_____	___/___/___
Plumbing	_____	___/___/___
Mech.	_____	___/___/___
S. Waste	_____	___/___/___

REVISIONS:

No.	Description	Date

**PERMIT SET**

PROJECT No.: 2157  
ISSUE DATE: 11 / 17 / 2021  
REVISIONS: No

ROOF DETAILS

SCALE: N.T.S.

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



SIGNATURE:

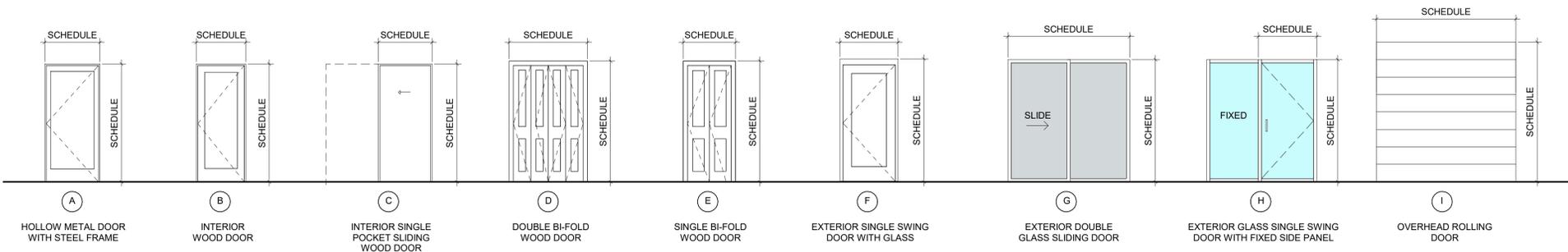
ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:

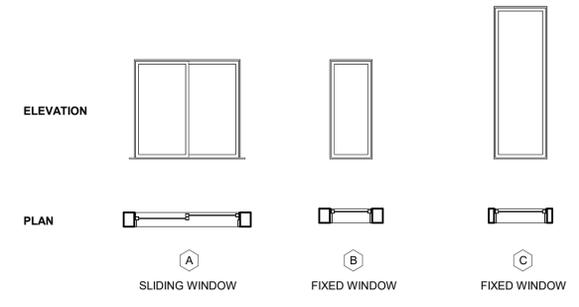
**A6-1.05**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

DOOR TYPES



WINDOW TYPES



NOTE: REFER TO SCHEDULE FOR WINDOW SIZE AND SILL HEIGHT

PROJECT, ADDRESS AND OWNER:  
**57 WILTON MANORS**  
 1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER  
 HOME EQUITES VENTURES, LLC 4111  
 NW 17 AVE  
 OAKLAND PARK, FL

ARCHITECT:

DOOR SCHEDULE - UNIT TYPE A

DOOR #	LOCATION	TYPE	DOOR			FRAME			LABEL	HDW SET	REMARKS
			WIDTH	HEIGHT	THICK	MAT'L	FINISH	THICK			
A-100	ENTRY	A	3'-0"	6'-8"	0'-1 3/8"	H. METAL	PAINTED	2"	MTL	PAINTED	90 MIN FIRE RATED
A-101	GARAGE	A	2'-8"	6'-8"	0'-1 3/8"	H. METAL	PAINTED	2"	MTL	PAINTED	90 MIN FIRE RATED / SELF-CLOSING & SELF-LATCHING
A-103	POWDER RM	B	2'-8"	6'-8"	0'-1 3/8"	WOOD	PAINTED	2"	WOOD	PAINTED	
A-104	PANTRY	D	4'-0"	6'-8"	0'-1 3/8"	WOOD	PAINTED	2"	WOOD	PAINTED	
A-106	GARAGE	I	8'-0"	8'-0"	0'-1 3/8"	H. METAL	PAINTED	2"	MTL	PAINTED	TO BE SELECTED BY APPROVED EQUAL
A-200	HALLWAY	B	2'-8"	6'-8"	0'-1 3/8"	WOOD	PAINTED	2"	WOOD	PAINTED	
A-201	FAMILY ROOM	F	3'-0"	6'-8"	0'-1 3/8"	H. METAL	PAINTED	2"	MTL	PAINTED	IMPACT RESISTANT GLASS
A-202	BEDROOM	G	6'-0"	7'-0"	0'-1 3/8"	GLASS	CLEAR	2"	ALUMINUM	PAINTED	IMPACT RESISTANT GLASS
A-203	BEDROOM	B	2'-8"	6'-8"	0'-1 3/8"	WOOD	PAINTED	2"	WOOD	PAINTED	
A-204	BATHROOM	B	2'-8"	6'-8"	0'-1 3/8"	WOOD	PAINTED	2"	WOOD	PAINTED	
A-205	HALLWAY	E	2'-6"	6'-8"	0'-1 3/8"	WOOD	PAINTED	2"	WOOD	PAINTED	
A-206	MASTER BEDROOM	B	2'-8"	6'-8"	0'-1 3/8"	WOOD	PAINTED	2"	WOOD	PAINTED	
A-207	CLOSET	E	2'-6"	6'-8"	0'-1 3/8"	WOOD	PAINTED	2"	WOOD	PAINTED	
A-208	MASTER BEDROOM	B	2'-8"	6'-8"	0'-1 3/8"	WOOD	PAINTED	2"	WOOD	PAINTED	IMPACT RESISTANT GLASS
A-209	BALCONY	G	6'-4"	7'-0"	0'-1 3/8"	GLASS	CLEAR	2"	ALUMINUM	PAINTED	
A-210	W.I.C.	B	2'-8"	6'-8"	0'-1 3/8"	WOOD	PAINTED	2"	WOOD	PAINTED	
A-211	CLOSET	D	4'-0"	6'-8"	0'-1 3/8"	WOOD	PAINTED	2"	WOOD	PAINTED	
A-212	LIVING RM		3'-0"	6'-8"							
A-213	TERRACE		3'-0"	6'-8"							

WINDOW SCHEDULE

MARK	COUNT	TYPE	WIDTH	HEIGHT	SILL HEIGHT	NOA	COMMENTS
A	8	SLIDING	5' - 0"	4' - 8"			IMPACT RESISTANT GLASS
B	4	FIXED	2' - 0"	4' - 8"	3' - 0"		IMPACT RESISTANT GLASS
C	2	FIXED	2' - 6"	7' - 2"	0' - 0"		IMPACT RESISTANT GLASS



CONSULTING ENGINEERS:  
 STRUCTURAL ENGINEER:  
 MEP:  
 CIVIL ENGINEER:  
**ZEPHYR ENGINEERING**  
 5451 PIERCE ST  
 HOLLYWOOD, FL  
 1 (786) 302 7693

LANDSCAPE ARCHITECT:  
**GREEN EARTH**  
 LANDSCAPE ARCHITECTURE  
 HOLLYWOOD, FL  
 1 (954) 638 9625

DOOR NOTES

- DOORS SHALL BE SOLID CORE WOOD DOORS/STAIN GRADE (ALL INTERIOR) OR 2- PREFINISHED STEEL DOOR (EXTERIOR).
- ALL PRODUCTS APPROVAL DOCUMENTATION SHALL BE SUBMITTED TO THE BLDG. DEPT. AS REQUIRED.
- FORCE ENTRY REQUIREMENTS: ALL EXTERIOR DOORS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 36 OF THE S.F.B.C. FOR GROUP OCCUPANCIES.
- STRUCTURAL PERFORMANCE: DOORS SHALL BE DESIGNED AND CONSTRUCTED TO PRESERVE THE ENCLOSED BUILDING ENVELOPE AGAINST WIND PRESSURE AS SET FORTH IN SECTION 2309 OF THE S.F.B.C. AND IMPACT LOADS AS SET FORTH IN SECTION 2315 OF THE S.F.B.C.
- ALL DOOR DIMENSIONS SHOW ON THIS SHEET ARE UNIT SIZES, UNLESS OTHERWISE NOTED. PROVIDE MASONRY OPENING PER MANUFACTURER'S RECOMMENDATION.
- ALL INTERIOR DOORS SHALL HAVE APPROPRIATE THRESHOLDS AT DOORWAY WHEN FINISH FLOORING MATERIAL IS DIFFERENT FROM ROOM TO ADJOINING ROOM.
- ALL EXTERIOR DOORS SHALL HAVE ALUM. THRESHOLDS, DOOR SWEEPERS, & WEATHER STRIPPING ALL AROUND.
- ALL INTERIOR DOOR FRAMES TO MATCH ADJOINING DOOR FINISHES.
- FOR TYPICAL FRAME DETAILS REFER TO DRAWINGS.
- ALL EXTERIOR DOORS TO HAVE DADE COUNTY PRODUCT APPROVAL.
- ALL INTERIOR DOOR WIDTHS TO BE 1-3/8" UNLESS OTHERWISE NOTED.
- ALL EXTERIOR DOORS WIDTHS TO BE 1-5/8" UNLESS OTHERWISE NOTED.
- EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM THE INSIDE, AS PER NFPA 101.
- EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY AS PER NFPA 101.
- WINDOW SUPPLIER SHALL FIELD VERIFY ALL EXISTING DOOR OPENINGS AND CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS TO EXISTING MASONRY OPENING SIZES TO ACCOMMODATE AVAILABLE DOORS.

- ALL EXISTING AND/OR NEW INSTALLATION SHALL BE IN COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS AND S.F.B.C. REQUIREMENTS.
- IF EXISTING MASONRY OPENING SIZES HAVE TO BE ADJUSTED TO ACCOMMODATE NEW DOORS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING INDOOR AND OUTDOOR WALL SURFACES TO MATCH EXISTING.
- ALL NEW DOORS SHALL HAVE 3 PAIRS OF HINGES OR AS RECOMMENDED BY MANUFACTURER.
- HARDWARE SHALL BE: MFG: SCHLAGE OR APPROVED EQUAL FINISH / COLOR: BRONZE
- ALL DOUBLE DOORS SHALL HAVE MULTI POINT FLUSH-BOLT AT ASTRAGAL.
- CONTRACTOR OR HARDWARE SUPPLIER SHALL SUBMIT A HARDWARE SCHEDULE FOR APPROVAL PRIOR TO INSTALLATION.
- PROVIDE ALLOWANCE FOR ALL HARDWARE.

ALL DOORS AND WINDOWS UNDER SEPARATE PERMIT

SECURITY NOTES

- ALL LOCKS AND EXTERIOR DOORS: SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LB. APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH THE RESISTANCE STANDARDS SET FORTH IN THE BUILDING CODE BOOK.
- ALL SINGLE EXTERIOR SWING DOOR: SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OR LOCKING AUXILIARY SINGLE DEAD BOLTS WITH INSERTS.
- HINGES ON EXTERIOR OFFSET TYPE SWING DOORS: SHALL HAVE NON-REMOVABLE PINS
- JAMBS ON ALL EXTERIOR OFFSET TYPE DOORS IN-SWING DOORS: SHALL BE RABETTED, OR OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
- SINGLE SWINGING EXTERIOR DOORS: IF WOOD SHALL BE OF SOLID CORE OF NO LESS THAN 1-3/8" THICK.
- EXTERIOR WINDOWS: SHALL BE LOCKED WITH DEVICE IN THE INSIDE CAPABLE OF WITH STANDING A FORCE OF 150 LBS APPLIED IN AN OPERABLE.
- WINDOW SUB-BUCKS: SHALL BE OF TREATED MATERIAL AT LEAST 2" NOMINAL THICKNESS & SECURED IN AT LEAST 6 POINTS ON EACH LEG WITH 3" OR EQUIVALENT FASTENERS.

INTERIOR FINISHES NOTE

- INTERIOR FLOOR FINISH CLASSIFICATION #1  
 INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS REQUIRED BY SECTION 804.5.1 TO BE OF CLASS 1 OR 2 MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH NFPA 253. THE CLASSIFICATION REFERRED TO HEREIN CORRESPONDS TO THE CLASSIFICATION DETERMINED BY NFPA 253 AS FOLLOWS: CLASS 1, 0.45 WATTS/CM2 OR GREATER, CLASS 2, 0.22 WATTS/CM2 OR H GRATER.
- INTERIOR WALLS AND CEILING FINISH REQUIREMENTS #2  
 FOR VERTICAL EXITS AND EXITS PASSAGEWAYS, EXIT ACCESS CORRIDORS AND OTHER EXIT WAYS, AND ROOMS AND ENCLOSED SPACE: MINIMUM REQUIRED FLAME SPREAD CLASSIFICATION INTERIOR FINISHES IS CLASS C (FLAME SPREAD INDEX 76-20; SMOKE-DEVELOPED INDEX 0-450).

GLAZING NOTES

- ALL GLAZING BY "MIAMI WALL SYSTEMS, INC." OR EQUAL.
- PROVIDED IMPACT GLASS FOR ALL IMPACT MISSLES AT ALL WINDOWS 30 FEET ABOVE GRADE.
- ALL SILL HEIGHTS TO BE 42" A.F.F. UNLESS OTHERWISE NOTED.
- ALL FIXED GLAZING PANELS TO BE TEMPERED GLASS.
- ALL GLAZING 0'-0" A.F.F. TO BE SPANDREL GLASS (U.O.N.)
- REFER TO FLOOR PLANS FOR WINDOW & DOOR LOCATIONS.
- ALL GROUND FLOOR, LOBBY AND RETAIL SPACE WITH SHUTTERS TO MEET IMPACT REQUIREMENTS.

BURGLARY SECURITY & FORCED ENTRY

- ALL LOCKS AND EXTERIOR DOORS: SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LB. APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH THE RESISTANCE STANDARDS SET FORTH IN THE BUILDING CODE BOOK.
- ALL SINGLE EXTERIOR SWING DOOR: SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OR LOCKING AUXILIARY SINGLE DEAD BOLTS WITH INSERTS.
- HINGES ON EXTERIOR OFFSET TYPE SWING DOORS: SHALL HAVE NON-REMOVABLE PINS
- JAMBS ON ALL EXTERIOR OFFSET TYPE DOORS IN-SWING DOORS: SHALL BE RABETTED, OR OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
- SINGLE SWINGING EXTERIOR DOORS: IF WOOD SHALL BE OF SOLID CORE OF NO LESS THAN 1-3/8" THICK.
- EXTERIOR WINDOWS: SHALL BE LOCKED WITH DEVICE IN THE INSIDE CAPABLE OF WITH STANDING A FORCE OF 150 LBS APPLIED IN AN OPERABLE.
- WINDOW SUB-BUCKS: SHALL BE OF TREATED MATERIAL AT LEAST 2" NOMINAL THICKNESS & SECURED IN AT LEAST 6 POINTS ON EACH LEG WITH 3" OR EQUIVALENT FASTENERS.

TYPICAL WINDOW NOTES

- ALL EXTERIOR WINDOWS AND DOORS SHALL BE UNDER A SEPARATE PERMIT. G.C. SHALL SUBMIT PRODUCT APPROVALS FOR IMPACT RESISTANT ASSEMBLY RATING WITH AN APPROPRIATE N.O.A. AND STRUCTURAL CALCULATIONS DESIGNED BY THE STATE OF FLORIDA REGISTERED PROFESSIONAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- CONTRACTOR TO SUBMIT CHOP DRAWINGS FOR ARCHITECTS APPROVAL PRIOR TO ORDERING WINDOWS.
- WINDOW ATTACHMENT IS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR AS OER THE PARTICULAR WINDOW MANUFACTURER'S INSTALLATION REQUIREMENTS TO MEET DESIGN PRESSURE AND MUST BE SIGNED AND SEALED BY A LICENSED ENGINEER FROM THE STATE OF FLORIDA.
- G.C. SHALL FIELD VERIFY ALL EXTERIOR MASONRY OPENINGS PRIOR TO FABRICATION.
- ALL WINDOWS TO HAVE MIAMI-DADE COUNTY APPROVED IMPACT RESISTANT GLASS.
- SUBMIT SAMPLES OF WINDOW SILLS, GLASS AND FRAMES FOR APPROVAL.
- PROVIDE CATEGORY II SAFETY GLASS AT SHOWER ENCLOSURES AND WINDOWS ADJACENT TO TUBS OR SHOWERS (FBC 2411.6.2)
- ALL OUTSIDE FIXED GLASS IS TO COMPLY WITH SECTION 3508.2 FBC. ALL GLASS AT WINDOWS AND DOORS SHALL BE TINTED AS PER ENERGY CALCULATIONS.
- ALL EXTERIOR OPERABLE WINDOWS AND SLIDING DOORS TO BE PROVIDED WITH A BUG SCREEN.
- ALL EGRESS WINDOWSTO COMPLY WITH FBC-2001 EDITIONEVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EMERGENCY ESCAPE AND RESCUE OPENING AND OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 S.F. IN AREA. THE BOTTOM SHALL NOT BE MORE THAN 44" OFF THE FLOOR (FBC1005.4.1) (FBC1005.4.3) (FBC 1005.4.4). THE MODE OF OPERATION MUST NOT REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISH FLOOR.
- VERIFY ROUGH OPENING DIMENSIONS WITH WINDOW MANUFACTURER.
- SEE ALL PLANS FOR LOCATION OF WINDOW TYPES.
- ALL WINDOWS TO BE STAINED FINISH AND GREY TINTED GLASS.
- ALL STOREFRONTS AND WINDOWS TO BE IMPACT GLASS.
- GLASS BY DROPS > 30" AND LOWER THAN 42" A.F.F. REQUIRE TO BE TESTED BY ANSI Z97.1-1984 USING 400 FT-LB ENERGY IMPACT.
- GENERAL CONTRACTOR TO PROVIDE PRODUCT APPROVAL SHUTTER SYSTEM. SUBMIT SHOP DRAWINGS FOR APPROVAL.
- COMPLETE SHOP DWG SETS MUST BE SUBMITTED TO THE CITY FOR APPROVAL.
- ALL GLASS TO BE LIGHT GRAY TINT.

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	__/__/
Fire Prev.	__/__/
Planning	__/__/
Zoning	__/__/
Building	__/__/
Structural	__/__/
Electrical	__/__/
Plumbing	__/__/
Mech.	__/__/
S. Waste	__/__/

REVISIONS:

NO.	DESCRIPTION	DATE

PERMIT SET

PROJECT No.: 2157  
 ISSUE DATE: 11 / 17 / 2021  
 REVISIONS: No

DOOR & WINDOW SCHEDULE

SCALE: N.T.S.

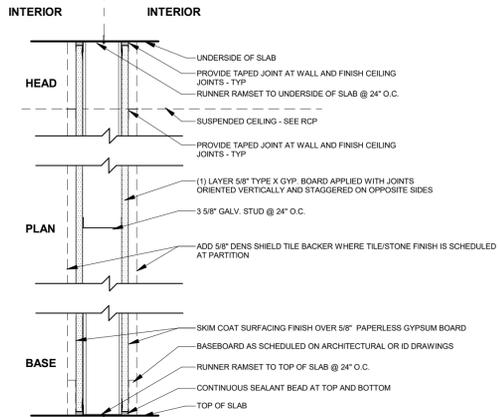
TO THE BEST OF THE ARCHITECTS OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY



SIGNATURE:  
 ARTURO G. GRIEGO, AIA  
 AR94011

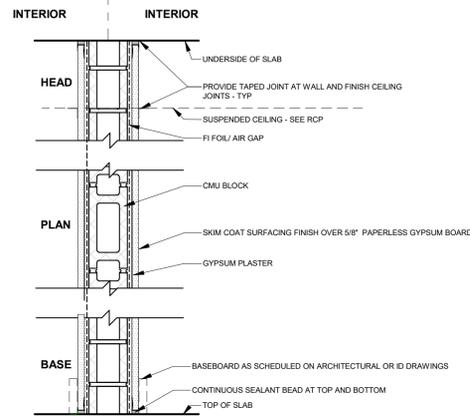
SHEET No.: **A7-1.01**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



- ◇ TYPICAL INTERIOR WALL TYPES - SEE STUD WIDTH ABOVE
- ◇ WALL TYPE 3 AT WET AREAS: CHANGE 5/8\"/>

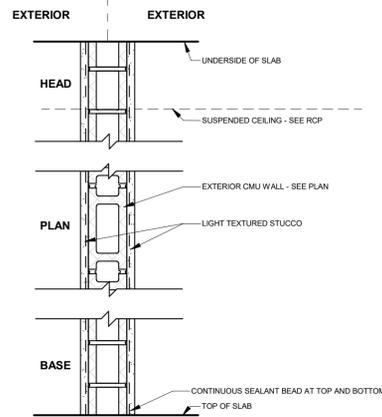
1. FLOOR AND CEILING RUNNERS - (NOT SHOWN) - CHANNEL SHAPED RUNNERS, 3/8 IN. WIDE (MIN.), 1-1/4 IN. LEGS FORMED FROM MIN. No. 25 MSG (MIN. No. 20 MSG WHEN ITEM 4 IS USED) GALV. STEEL ATTACHED TO FLOOR AND CEILING WITH FASTENERS SPACED 24 IN. OC MAX.
2. STEEL STUDS CHANNEL SHAPED, 3/8 IN. WIDE (MIN.), 1-1/4 IN. LEGS, 3/8 IN. FOLDED BACK RETURNS, FORMED FROM MIN. No. 25 MSG (MIN. No. 20 MSG WHEN ITEM 4 IS USED) GALV. STEEL, SPACED 24 IN. OC. MAX. BATTS AND BLANKETS - MINERAL WOOL OR GLASS FIBER BATTS PARTIALLY OR COMPLETELY FILLING STUD CAVITY. SEE BATTS AND BLANKETS (B2J2) CATEGORY FOR NAMES OF CLASSIFIED COMPANIES.
4. GYPSUM BOARD - 5/8 IN. THICK, 4 FT WIDE, ATTACHED TO STEEL STUDS AND FLOOR AND CEILING TRACK WITH 1 IN. LONG, TYPE S STEEL SCREWS SPACED 8 IN. OC. ALONG EDGES OF BOARD AND 12 IN. OC. IN THE FIELD OF THE BOARD. JOINTS ORIENTED VERTICALLY AND STAGGERED ON OPPOSITE SIDES OF ASSEMBLY. WHEN ATTACHED TO ITEM 6 (FURRING CHANNELS), WALLBOARD IS SCREW ATTACHED TO FURRING CHANNELS WITH 1 IN. LONG, TYPE S STEEL SCREWS SPACED 12 IN. OC.



- ◇ TYPICAL 8\"/>

- DESIGN NO. U996  
BEARING WALL RATING - 1 HR.  
NONBEARING WALL RATING - 1 HR.
1. CONCRETE BLOCKS - NOMINAL 8 BY 8 BY 16 IN. HOLLOW OR SOLID. VARIOUS DESIGNS. CLASSIFICATION (1 HR), SEE CONCRETE BLOCKS CATEGORY FOR LIST OF ELIGIBLE MANUFACTURERS.  
ANCHOR CONCRETE PRODUCTS INC  
GAGNE & SON CONCRETE BLOCK INC  
GLENWOOD MASONRY PRODUCTS  
ALLOWABLE COMPRESSIVE STRESS OF 57% OF MAX ALLOWABLE COMPRESSIVE STRESS IN ACCORDANCE WITH THE EMPIRICAL DESIGN METHOD.  
OLDCASTLE APG SOUTH INC, OBA ADAMS PRODUCTS  
WESTBROOK CONCRETE BLOCK CO INC  
ALLOWABLE COMPRESSIVE STRESS OF 75.6% OF MAX ALLOWABLE COMPRESSIVE STRESS IN ACCORDANCE WITH THE EMPIRICAL DESIGN METHOD.
  2. MORTAR - BLOCKS LAID IN FULL BED OF MORTAR, NOM. 3/8 IN. THICK, OF NOT LESS THAN 2-1/4 AND NOT MORE THAN 3-1/2 PARTS OF CLEAN SHARP SAND TO 1 PART PORTLAND CEMENT (PROPORTIONED BY VOLUME) AND NOT MORE THAN 50 PERCENT HYDRATED LIME (BY CEMENT VOLUME), VERTICAL JOINTS STAGGERED.
  3. PORTLAND CEMENT STUCCO OR GYPSUM PLASTER - ADD 1/2 HR TO CLASSIFICATION IF USED. ATTACHED TO CONCRETE BLOCKS (ITEM 1).
  4. FOAMED PLASTIC - (OPTIONAL, NOT SHOWN) - 1-1/2 IN. THICK MAX. 4 FT WIDE SHEATHING ATTACHED TO CONCRETE BLOCKS (ITEM 1). ATLAS ROOFING CORP - "ENERGYSHIELD PRO WALL INSULATION" AND "ENERGYSHIELD PRO 2 WALL INSULATION" CARLISLE COATINGS & WATERPROOFING INC - TYPE R2 SHEATH  
FIRESTONE BUILDING PRODUCTS CO L L C - "ENVERGETM CI FOIL EXTERIOR WALL INSULATION" AND "ENVERGETM CI GLASS EXTERIOR WALL INSULATION"  
HUNTER PANELS - TYPES XCI-CLASS A, XCI 286  
RMAX OPERATING L L C - "TSX-8500", "TSX-8510", "THERMASHEATH-XP", "ECOMAXCI", "THERMASHEATH-S", "THERMASHEATH-3"  
THE DOW CHEMICAL CO - TYPES THERMAX SHEATHING, THERMAX LIGHT DUTY INSULATION, THERMAX HEAVY DUTY INSULATION, THERMAX METAL BUILDING BOARD, THERMAX WHITE FINISH INSULATION, THERMAX CI EXTERIOR INSULATION, THERMAX XARMOR CI EXTERIOR INSULATION, THERMAX HI INSULATION, THERMAX PLUS LINER PANEL, THERMAX HEAVY DUTY PLUS (HDP) AND TUFF-RTM CI INSULATION
  - 4A. BUILDING UNITS - AS AN ALTERNATE TO ITEM 5, MIN. 1-IN THICK POLYISOCYANURATE COMPOSITE FOAMED PLASTIC INSULATION BOARDS, NOM. 48 BY 48 OR 96 IN.  
RMAX OPERATING L L C - "THERMASHEATH-S", "ECOBASECI", "THERMABASE-CI"

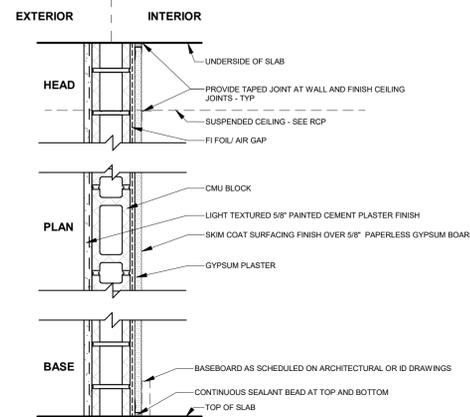
◇ 3 ◇ 3 ◇ 3  
NON LOAD BEARING 8" CMU WALL WITH VERTICAL REINFORCEMENT



- ◇ TYPICAL 8\"/>

- DESIGN NO. U996  
BEARING WALL RATING - 2 HR.  
NONBEARING WALL RATING - 2 HR.
1. CONCRETE BLOCKS - NOMINAL 6 BY 8 BY 16 IN. HOLLOW OR SOLID. VARIOUS DESIGNS. CLASSIFICATION (2 HR), SEE CONCRETE BLOCKS CATEGORY FOR LIST OF ELIGIBLE MANUFACTURERS.  
ANCHOR CONCRETE PRODUCTS INC  
GAGNE & SON CONCRETE BLOCK INC  
GLENWOOD MASONRY PRODUCTS  
ALLOWABLE COMPRESSIVE STRESS OF 57% OF MAX ALLOWABLE COMPRESSIVE STRESS IN ACCORDANCE WITH THE EMPIRICAL DESIGN METHOD.  
OLDCASTLE APG SOUTH INC, OBA ADAMS PRODUCTS  
WESTBROOK CONCRETE BLOCK CO INC  
ALLOWABLE COMPRESSIVE STRESS OF 75.6% OF MAX ALLOWABLE COMPRESSIVE STRESS IN ACCORDANCE WITH THE EMPIRICAL DESIGN METHOD.
  2. MORTAR - BLOCKS LAID IN FULL BED OF MORTAR, NOM. 3/8 IN. THICK, OF NOT LESS THAN 2-1/4 AND NOT MORE THAN 3-1/2 PARTS OF CLEAN SHARP SAND TO 1 PART PORTLAND CEMENT (PROPORTIONED BY VOLUME) AND NOT MORE THAN 50 PERCENT HYDRATED LIME (BY CEMENT VOLUME), VERTICAL JOINTS STAGGERED.
  3. PORTLAND CEMENT STUCCO OR GYPSUM PLASTER - ADD 1/2 HR TO CLASSIFICATION IF USED. ATTACHED TO CONCRETE BLOCKS (ITEM 1).
  4. FOAMED PLASTIC - (OPTIONAL, NOT SHOWN) - 1-1/2 IN. THICK MAX. 4 FT WIDE SHEATHING ATTACHED TO CONCRETE BLOCKS (ITEM 1). ATLAS ROOFING CORP - "ENERGYSHIELD PRO WALL INSULATION" AND "ENERGYSHIELD PRO 2 WALL INSULATION" CARLISLE COATINGS & WATERPROOFING INC - TYPE R2 SHEATH  
FIRESTONE BUILDING PRODUCTS CO L L C - "ENVERGETM CI FOIL EXTERIOR WALL INSULATION" AND "ENVERGETM CI GLASS EXTERIOR WALL INSULATION"  
HUNTER PANELS - TYPES XCI-CLASS A, XCI 286  
RMAX OPERATING L L C - "TSX-8500", "TSX-8510", "THERMASHEATH-XP", "ECOMAXCI", "THERMASHEATH-S", "THERMASHEATH-3"  
THE DOW CHEMICAL CO - TYPES THERMAX SHEATHING, THERMAX LIGHT DUTY INSULATION, THERMAX HEAVY DUTY INSULATION, THERMAX METAL BUILDING BOARD, THERMAX WHITE FINISH INSULATION, THERMAX CI EXTERIOR INSULATION, THERMAX XARMOR CI EXTERIOR INSULATION, THERMAX HI INSULATION, THERMAX PLUS LINER PANEL, THERMAX HEAVY DUTY PLUS (HDP) AND TUFF-RTM CI INSULATION
  - 4A. BUILDING UNITS - AS AN ALTERNATE TO ITEM 5, MIN. 1-IN THICK POLYISOCYANURATE COMPOSITE FOAMED PLASTIC INSULATION BOARDS, NOM. 48 BY 48 OR 96 IN.  
RMAX OPERATING L L C - "THERMASHEATH-S", "ECOBASECI", "THERMABASE-CI"

◇ 2  
NON LOAD BEARING 8" CMU WALL WITH VERTICAL REINFORCEMENT



- ◇ TYPICAL 8\"/>

- DESIGN NO. U996  
BEARING WALL RATING - 2 HR.  
NONBEARING WALL RATING - 2 HR.
1. CONCRETE BLOCKS - NOMINAL 6 BY 8 BY 16 IN. HOLLOW OR SOLID. VARIOUS DESIGNS. CLASSIFICATION (2 HR), SEE CONCRETE BLOCKS CATEGORY FOR LIST OF ELIGIBLE MANUFACTURERS.  
ANCHOR CONCRETE PRODUCTS INC  
GAGNE & SON CONCRETE BLOCK INC  
GLENWOOD MASONRY PRODUCTS  
ALLOWABLE COMPRESSIVE STRESS OF 57% OF MAX ALLOWABLE COMPRESSIVE STRESS IN ACCORDANCE WITH THE EMPIRICAL DESIGN METHOD.  
OLDCASTLE APG SOUTH INC, OBA ADAMS PRODUCTS  
WESTBROOK CONCRETE BLOCK CO INC  
ALLOWABLE COMPRESSIVE STRESS OF 75.6% OF MAX ALLOWABLE COMPRESSIVE STRESS IN ACCORDANCE WITH THE EMPIRICAL DESIGN METHOD.
  2. MORTAR - BLOCKS LAID IN FULL BED OF MORTAR, NOM. 3/8 IN. THICK, OF NOT LESS THAN 2-1/4 AND NOT MORE THAN 3-1/2 PARTS OF CLEAN SHARP SAND TO 1 PART PORTLAND CEMENT (PROPORTIONED BY VOLUME) AND NOT MORE THAN 50 PERCENT HYDRATED LIME (BY CEMENT VOLUME), VERTICAL JOINTS STAGGERED.
  3. PORTLAND CEMENT STUCCO OR GYPSUM PLASTER - ADD 1/2 HR TO CLASSIFICATION IF USED. ATTACHED TO CONCRETE BLOCKS (ITEM 1).
  4. FOAMED PLASTIC - (OPTIONAL, NOT SHOWN) - 1-1/2 IN. THICK MAX. 4 FT WIDE SHEATHING ATTACHED TO CONCRETE BLOCKS (ITEM 1). ATLAS ROOFING CORP - "ENERGYSHIELD PRO WALL INSULATION" AND "ENERGYSHIELD PRO 2 WALL INSULATION" CARLISLE COATINGS & WATERPROOFING INC - TYPE R2 SHEATH  
FIRESTONE BUILDING PRODUCTS CO L L C - "ENVERGETM CI FOIL EXTERIOR WALL INSULATION" AND "ENVERGETM CI GLASS EXTERIOR WALL INSULATION"  
HUNTER PANELS - TYPES XCI-CLASS A, XCI 286  
RMAX OPERATING L L C - "TSX-8500", "TSX-8510", "THERMASHEATH-XP", "ECOMAXCI", "THERMASHEATH-S", "THERMASHEATH-3"  
THE DOW CHEMICAL CO - TYPES THERMAX SHEATHING, THERMAX LIGHT DUTY INSULATION, THERMAX HEAVY DUTY INSULATION, THERMAX METAL BUILDING BOARD, THERMAX WHITE FINISH INSULATION, THERMAX CI EXTERIOR INSULATION, THERMAX XARMOR CI EXTERIOR INSULATION, THERMAX HI INSULATION, THERMAX PLUS LINER PANEL, THERMAX HEAVY DUTY PLUS (HDP) AND TUFF-RTM CI INSULATION
  - 4A. BUILDING UNITS - AS AN ALTERNATE TO ITEM 5, MIN. 1-IN THICK POLYISOCYANURATE COMPOSITE FOAMED PLASTIC INSULATION BOARDS, NOM. 48 BY 48 OR 96 IN.  
RMAX OPERATING L L C - "THERMASHEATH-S", "ECOBASECI", "THERMABASE-CI"

◇ 1 ◇ 1 ◇ 1  
NON LOAD BEARING 8" CMU WALL WITH VERTICAL REINFORCEMENT

◇ 4 ◇ 4 ◇ 4  
TYPICAL 4" INTERIOR PARTITION NON-RATED

PROJECT, ADDRESS AND OWNER:  
**57 WILTON MANORS**  
1308 NE 24 STREET WILTON MANORS, FL | 33305

OWNER:  
HOME EQUITES VENTURES, LLC 4111  
NW 17 AVE  
OAKLAND PARK, FL

ARCHITECT:  
ZEPHYR ENGINEERING  
5451 PIERCE ST  
HOLLYWOOD, FL  
11786 302 7693

CONSULTING ENGINEERS:  
LANDSCAPE ARCHITECT:  
GREEN EARTH  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FL  
11954 638 9625

STRUCTURAL ENGINEER:  
MEP:  
CIVIL ENGINEER:  
LANDSCAPE ARCHITECTURE

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	___/___/___
Fire Prev.	___/___/___
Planning	___/___/___
Zoning	___/___/___
Building	___/___/___
Structural	___/___/___
Electrical	___/___/___
Plumbing	___/___/___
Mech.	___/___/___
S. Waste	___/___/___

REVISIONS:

No.	Description	Date

**PERMIT SET**

PROJECT No.: 2157  
ISSUE DATE: 11 / 17 / 2021  
REVISIONS: No

WALL TYPES  
SCALE: N.T.S.

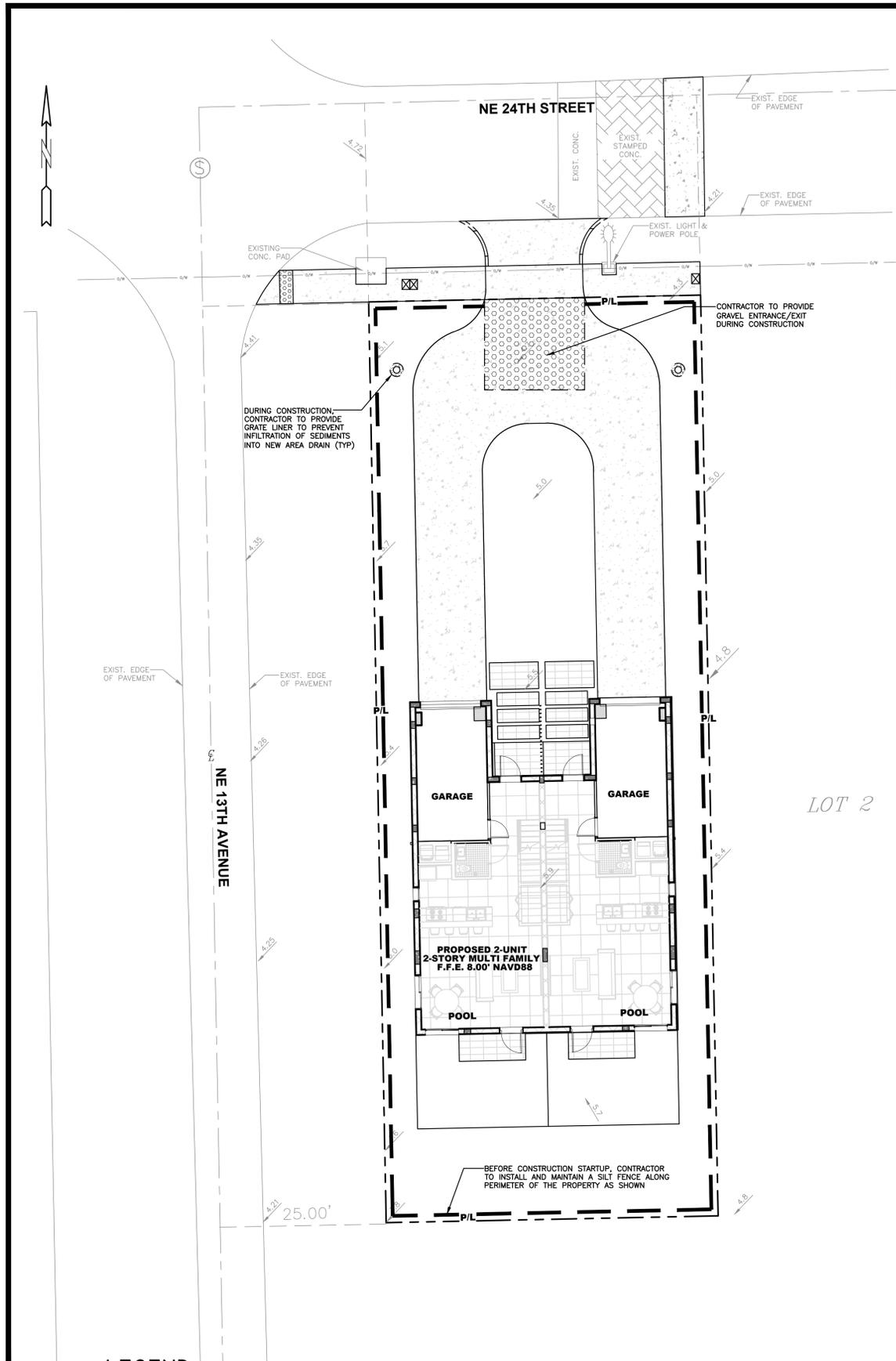
TO THE BEST OF THE ARCHITECTS OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:  
REGISTERED ARCHITECT  
STATE OF FLORIDA

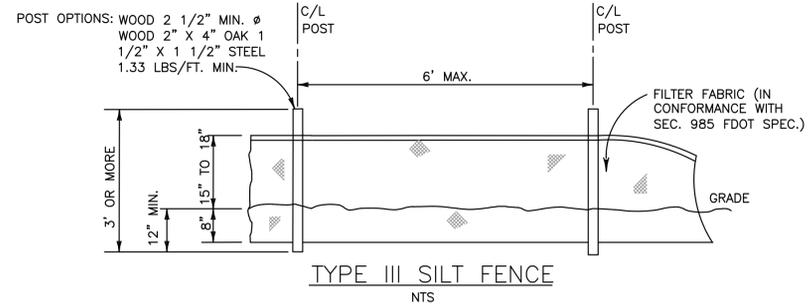
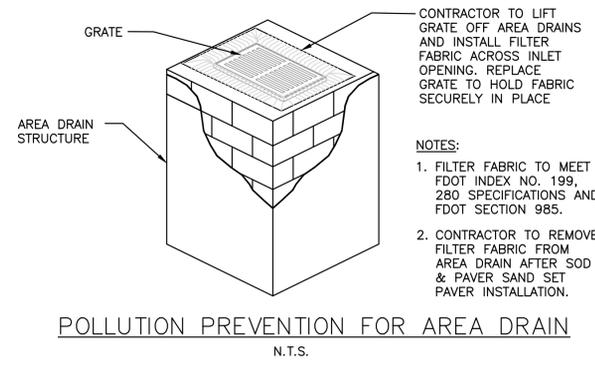
SIGNATURE:  
ARTURO G. GRIEGO, AIA  
AR94011

SHEET No.:  
**A7-1.02**

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THE WRITTEN CONSENT.



- BMP NOTES:**
1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
  2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
  3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
  4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
  5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
  6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
  7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
  8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
  9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
  10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
  11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



**LEGEND**

- PROPOSED PAVERS
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED AREA DRAIN
- EXISTING FIRE HYDRANT
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING SAN. SEWER MH

**PRELIMINARY EROSION & SEDIMENT CONTROL PLAN**  
SCALE: 1"=10'

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



NO.	DATE	DESCRIPTION

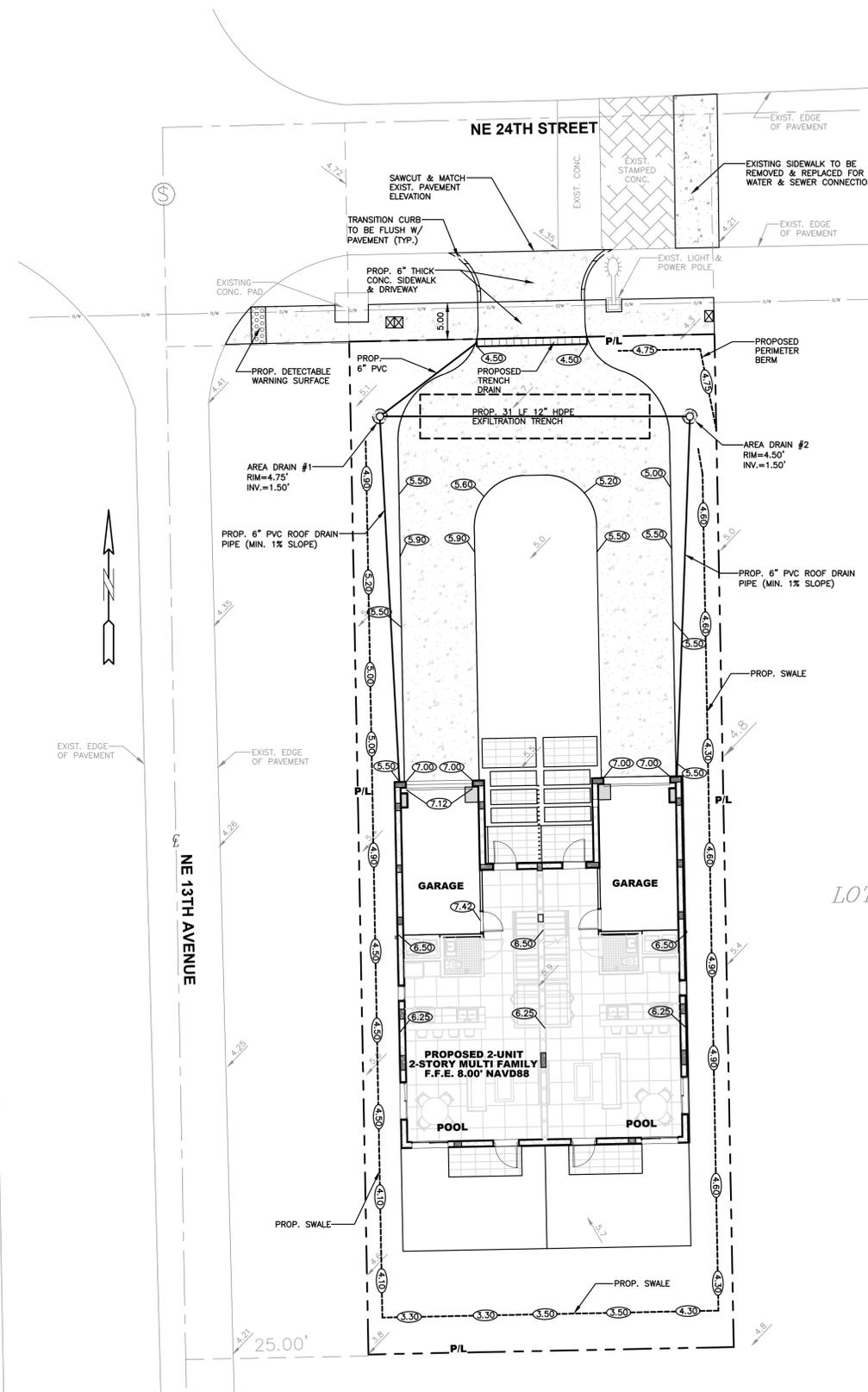
**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyreng@gmail.com  
CA#: 31158



**57 WILTON MANORS**  
1308 NE 24 STREET  
WILTON MANORS, FL

P.E.#: 76036  
DATE: 1/10/22  
SCALE: 1"=10'  
SHEET NO.: C1  
1 OF 4  
PROJECT NO.: 21-92

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM.



- NOTES:
- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
  - 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
  - 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
  - 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
  - 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
  - 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
  - 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.

NO.	DATE	DESCRIPTION	CITY REVIEW COMMENTS
1	2-22-23		

**ZEPHYR ENGINEERING**  
 WILFORD ZEPHYR, P.E.  
 HOLLYWOOD, FL  
 (786) 302-7693  
 wzephyreng@gmail.com  
 CA#: 31158



**57 WILTON MANORS**  
 1308 NE 24 STREET  
 WILTON MANORS, FL

**LEGEND**

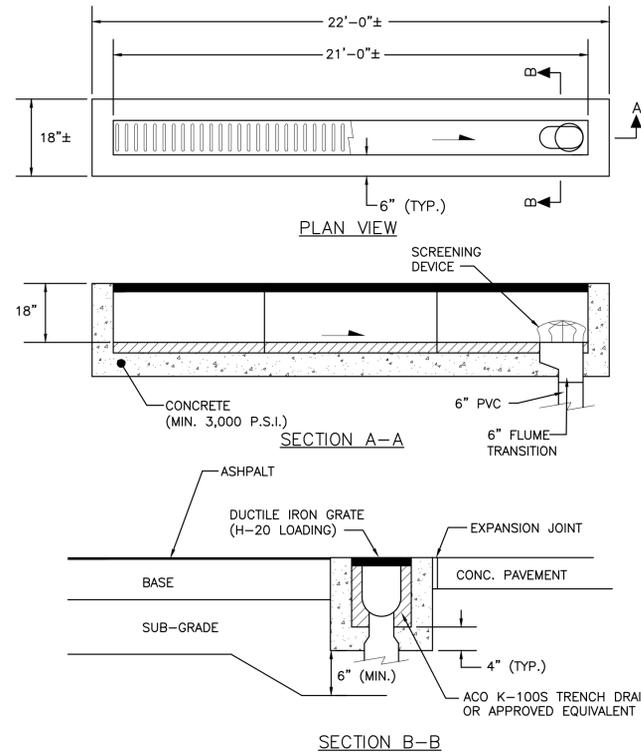
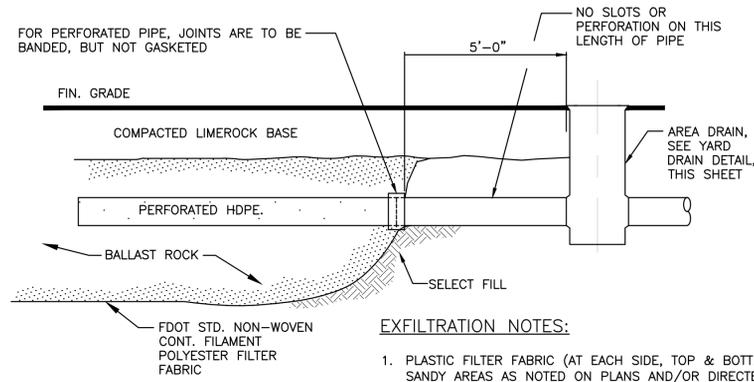
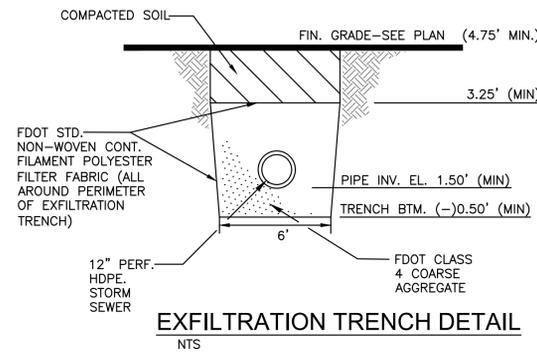
	PROPOSED PAVERS		PROPOSED WATER METER
	PROPOSED GRADE		EXISTING WATER METER
	EXISTING ELEVATION		EXISTING WATER VALVE
	PROPOSED AREA DRAIN		EXISTING SAN. SEWER MH
	EXISTING FIRE HYDRANT		



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.  
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

**PRELIMINARY PAVING, GRADING & DRAINAGE PLAN**  
 SCALE: 1"=10'

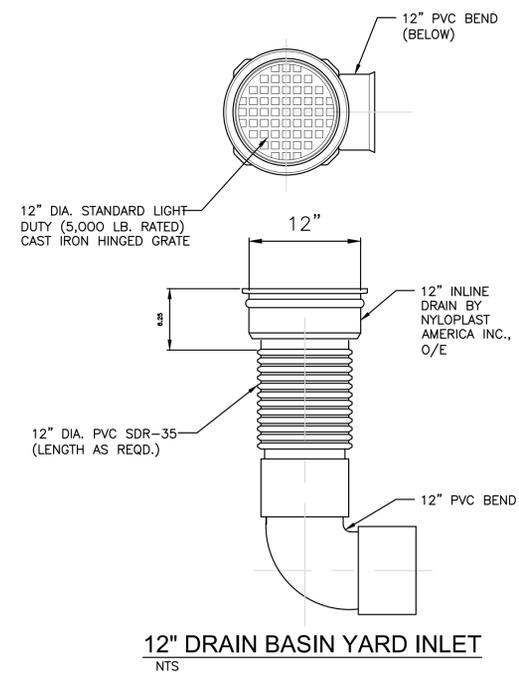
P.E.#: 76036  
 DATE: 1/10/22  
 SCALE: 1"=10'  
 SHEET NO.: C2  
 2 OF 4  
 PROJECT NO.: 21-92



**NOTES:**

1. SUBGRADE SHALL BE COMPACTED TO 95% MOD. PROCTOR DENSITY (AASHTO T-180)
2. CONNECT TRENCH DRAIN TO OUTFALL PIPE IN ACCORDANCE WITH:  
 ALTERNATIVE-A: FOR A TERMINAL CONNECTION USE ONE (1) 90° ELBOW.  
 ALTERNATIVE-B: FOR AN IN-LINE CONNECTION USE ONE (1) 45° ELBOW AND ONE (1) WYE.

**TRENCH DRAIN DETAIL**  
NTS



**12\"/>**

NO.	DATE	DESCRIPTION

**ZEPHYR ENGINEERING**  
 WILFORD ZEPHYR, P.E.  
 HOLLYWOOD, FL  
 (786) 302-7693  
 wzephyreng@gmail.com  
 CA#: 31158



**57 WILTON MANORS**  
 1308 NE 24 STREET  
 WILTON MANORS, FL

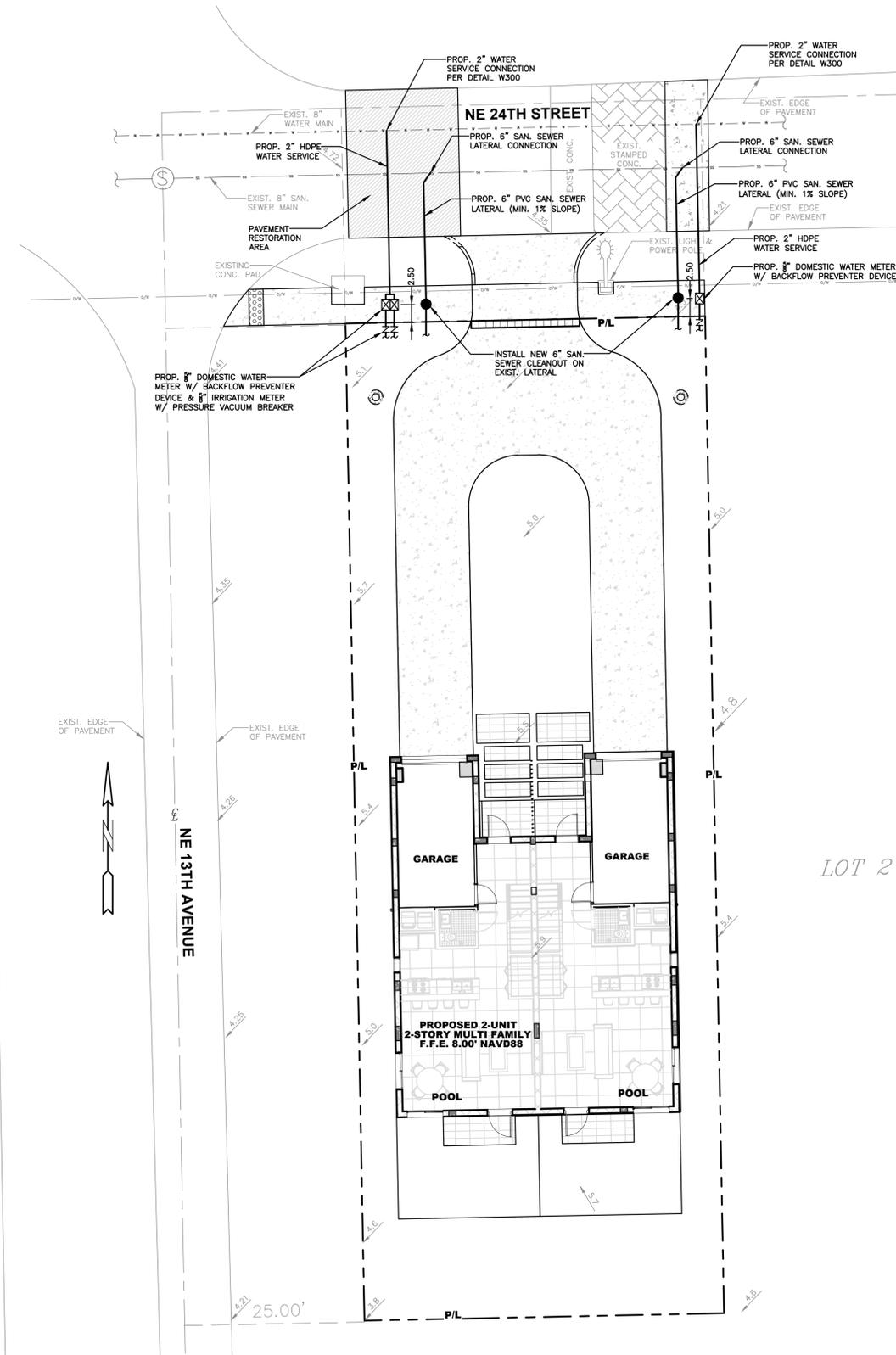


THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.  
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

**CIVIL DETAILS**  
 SCALE: N.T.S.

P.E.#: 76036  
 DATE: 1/10/22  
 SCALE: N.T.S.  
 SHEET NO.: **C3**  
 3 OF 4  
 PROJECT NO.: 21-92

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM.



**LEGEND**

- PROPOSED PAVERS
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED AREA DRAIN
- EXISTING FIRE HYDRANT
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING SAN. SEWER MH



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

**PRELIMINARY WATER & SEWER PLAN**  
SCALE: 1"=10'

REVISIONS	
NO.	DATE

**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyreng@gmail.com  
CA#: 31158

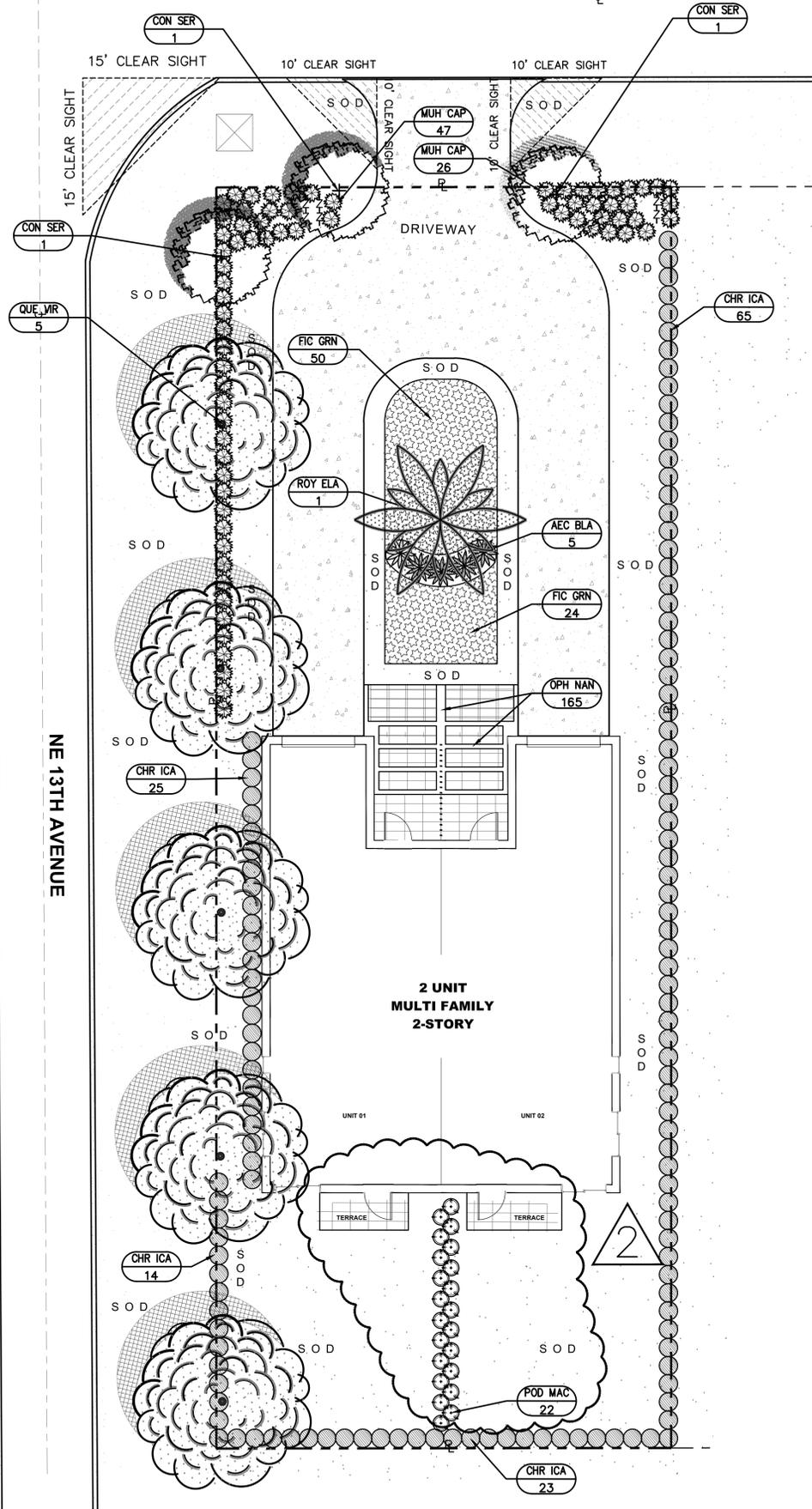


**57 WILTON MANORS**  
1308 NE 24 STREET  
WILTON MANORS, FL

P.E.#: 78036  
DATE: 1/10/22  
SCALE: 1"=10'  
SHEET NO.: **C4**  
4 OF 4  
PROJECT NO.: 21-92

This document, together with the concepts and designs presented herein, is an instrument of service, to be used only for the specific purpose and client for which it was prepared. Review of and improper reliance on this document without written authorization and adaptation by Green Earth Landscape Architectural shall be without liability to Green Earth Landscape Architectural.

NE 24TH STREET



LANDSCAPE PLANTING PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES & SPECIFICATIONS

- ALL PROPOSED PLANT MATERIAL SHALL BE A MINIMUM OF FLORIDA NO. 1 OR BETTER AS DESCRIBED IN GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ALL PLANTED AREAS SHALL CONTAIN A THREE (3) INCH LAYER OF SHREDDED STERILIZED EUCALYPTUS OR MELALEUCA MULCH SUCH AS FLORI-MULCH. KEEP MULCH A MIN. 12" AWAY FROM TREE TRUNKS. CREATE MIN. 4' DIAMETER MULCH TREE RINGS AROUND ALL TREES NOT WITHIN A SHRUB OR GROUNDCOVER BED.
- ALL SOD SHALL BE ST. AUGUSTINE 'FLORATAM' (*Stenotaphrum secundatum* 'Floratum') SOD UNLESS NOTED AS 'BAHAGRASS SOD' (*Paspalum notatum* 'ARGENTINE'). ALL SOD SHALL BE IN SOLID, FULL PIECES. LAY SOD TIGHT WITH STAGGERED JOINTS AND ROLL IF NECESSARY TO PRODUCE A SMOOTH, EVEN FINISH GRADE. INFILL ANY GAPS OR VOIDS IN OR BETWEEN PIECES WITH COURSE SAND. ALL SOD OR SEED SHALL BE CERTIFIED FROM THE SUPPLIER, AND WEED AND INSECT FREE. SEE SOD PLANTING DETAILS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES OR OTHER OBSTRUCTIONS WHICH MAY INTERFERE WITH PLANT INSTALLATION. CALL SUNSHINE ONE SERVICE FOR UNDERGROUND UTILITY LOCATIONS 48 HOURS PRIOR TO ANY EXCAVATION OR DIGGING 1-800-432-4770.
- CORNER CLIP AND VISIBILITY TRIANGLES SHALL BE MAINTAINED FOR CLEAR SIGHT VISIBILITY IN ACCORDANCE WITH LOCAL AND COUNTY ROADWAY CLEAR SIGHT REQUIREMENTS.
- THE LANDSCAPE PLANS WERE DESIGNED TO COMPLY WITH FLORIDA FRIENDLY LANDSCAPE PRINCIPLES WITH SPECIFIC CONSIDERATION OF WATER NEEDS, SHADE/SUN TOLERANCES, STRUCTURAL HEAT GAIN, AND SITE OPPORTUNITIES AND CONSTRAINTS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO IMPLEMENT WORK HEREIN. FOR SITES WITH EXISTING TREES, A TREE PERMIT WILL BE REQUIRED **PRIOR** TO ANY TREE ROOT PRUNING, ESTABLISHING BARRIER PROTECTIVE FENCING AROUND THE DRIPLINE OF TREES TO REMAIN, AND/OR ANY TREE WORK WITHIN AREAS OF WORK INDICATED IN THIS PLAN.
- LOCAL UTILITY AND FIRE RESCUE CLEARANCE ZONES SHALL BE PROVIDED AROUND ALL ABOVE GROUND OR AT GRADE METERS AND UTILITY EQUIPMENT.
- WHERE OVERHEAD POWER LINES EXIST, ALL PROPOSED TREE AND PALM SETBACKS (FOR PARTICULAR SPECIES) SHALL CONFORM WITH THE FLORIDA POWER AND LIGHT (FPL) GUIDELINES FOR SETBACKS FROM OVERHEAD UTILITY LINES.
- PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF DISCREPANCIES BETWEEN PLANT LIST COUNTS AND PLAN, PLAN QUANTITIES AND LAYOUT SHALL TAKE PRECEDENCE BASED ON SYMBOLS AND CENTER-TO-CENTER SPACING SPECIFIED ON PLANT LIST.
- ALL LANDSCAPE PLANTING AREAS SHALL HAVE AMENDED PLANTING SOIL OF UNCOMPACTED COARSE LOAM AT AN EXCAVATED DEPTH ACCORDING TO PLANTING DETAILS AND BE A MINIMUM OF 12 INCHES DEEP, WHICHEVER IS GREATER. AMENDED PLANTING SOIL SHALL BE FREE OF GRAVEL, STONES, RUBBLE, SEEDS OR TRASH. ALL COMPACTED SOIL, CONTAMINATED SOIL OR ROADBASE FILL SHALL BE REMOVED FROM SITE IN ALL PLANTING AREAS AS EXCAVATED FOR PLANTING BEDS, TREES AND PALMS. AMENDED PLANTING SOIL SHALL BE PREMIXED OFF SITE AND SHALL BE A RATIO-BY-VOLUME MIXTURE (EXCEPT FOR BACKFILL MIX FOR RELOCATED CANARY ISLAND DATE PALM) OF 50% ORGANIC PULVERIZED TOPSOIL/FLORIDA MUCK, AND 50% CLEAN, SCREENED SAND. ALL AMENDED PLANTING SOIL MIX SHALL BE FREE OF NEMATODES, SEEDS, SPORES, VEGETATIVE SPROUTS, AND OTHER DELETERIOUS MATERIALS. 10% SPHAGNUM PEAT OR OTHER ORGANIC AMENITY IS ACCEPTABLE IN THE AMENDED SOIL MIX.
- ALL PLANT MATERIALS SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR TO BE IN A THRIVING, HEALTHY CONDITION THAT IS INDICATIVE OF EACH SPECIES. ANY PLANTS THAT FAIL WITHIN THAT PERIOD SHALL BE REPLACED IMMEDIATELY WITH LIKE KIND, SIZE, AND SPECIFICATIONS AS PART OF THE CONTRACTOR'S WARRANTY INCLUDED IN THE SCOPE OF WORK HEREIN.
- REMOVE ANY AND ALL PROHIBITED INVASIVE-EXOTIC VEGETATION WITHIN SITE INCLUDING ENTIRE ROOT SYSTEMS, SEEDS, SPORES, AND LITTER.
- ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH RAIN SENSOR AND PROGRAMMABLE AUTOMATIC CONTROLLER AS PERMITTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT, COUNTY, AND LOCAL CODES.
- OTHER THAN EXISTING TREES TO REMAIN, OR UNLESS OTHERWISE SPECIFIED, ALL EXISTING VEGETATION INCLUDING TURF, WEEDS, GROUNDCOVER, SHRUBBERY, ETC., AND OTHER DELETERIOUS MATERIALS ARE TO BE REMOVED IN THEIR ENTIRETY PRIOR TO PLANTING PREPARATION. SEE LANDSCAPE PLANTING DETAILS AND NOTES HEREIN FOR AMENDED SOIL MIX AND PLANTING PREPARATION.
- ANY DAMAGE TO EXISTING CONDITIONS SHALL BE RESTORED IN FULL.
- BEGIN WATERING ALL PLANT MATERIALS IMMEDIATELY AFTER INSTALLATION UNTIL IRRIGATION SYSTEM IS FULLY OPERATIONAL, AND PROVIDE SUPPLEMENTAL WATER AS NEEDED TO FULLY ESTABLISH ALL PLANT MATERIALS.
- CONTRACTOR IS TO VISIT SITE AND IMMEDIATELY BRING ANY DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A BID FOR THE WORK HEREIN. BY PLACING A BID OR PROPOSAL, CONTRACTOR ACKNOWLEDGES THAT NO DISCREPANCIES EXIST WITHIN HIS PROPOSED SCOPE AND THESE PLANS.
- ALL WORK MATERIALS, WORKMANSHIP, AND MEANS/METHODS SHALL COMPLY WITH LOCAL, REGIONAL, AND STATE REGULATIONS.
- NO EXISTING TREES ARE CURRENTLY ON THIS SITE.
- BETWEEN PAVER STONES AT BUILDING MAIN ENTRY ADD DWARF MONDO GRASS 10" ON CENTER IN PERVIOUS SPACES WITH 3 MIL PERFORATED PLASTIC WEED BARRIER AND 3/4" WHITE MARBLE CHIP ORNAMENTAL AGGREGATE MULCH 2" DEPTH.

PLANT LIST AND SPECIFICATIONS

TREE AND PALMS						
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	SIZE	SPREAD	DESCRIPTION
*N CON SER	3	<i>Conocarpus erectus</i> 'Sericeus'	SILVER BUTTONWOOD	2" DBH/12' HT.	5'	SINGLE STRAIGHT TRUNK STANDARD, HEAVY BRANCHING, SELF-SUPPORTING CENTRAL LEADER
*N QUE VIR	5	<i>Quercus virginiana</i>	LIVE OAK	3" DBH/14' HT.	6'	STRAIGHT, HEAVY EVEN BRANCHING
*N ROY ELA	1	<i>Roystonea elata</i>	FLORIDA ROYAL PALM	10' GW	16'	STRAIGHT HEAVY TRUNK, NO PENCILING, FULL CROWN
SHRUBS AND GROUNDCOVER						
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	SIZE	SPREAD	DESCRIPTION
*N AEC BLA	5	<i>Aechmea blanchetiana</i>	GIANT ORANGE BROMELIAD	36" HT	36"	SUN GROWN, FULL, SPACE 42" ON CENTER
*N CHR ICA	127	<i>Chrysobalanus icaco</i>	COCOPLUM	24" HT	24"	FULL, SPACE 24" ON CENTER
*N FIC GRN	74	<i>Ficus microphylla</i> 'Green Island'	GREEN ISLAND FICUS	14" HT	16"	FULL, SPACE 24" ON CENTER TO FILL PLANTING AREAS
*N MUH CAP	73	<i>Muhlenbergia capillaris</i>	MUHLY GRASS	20" HT	20"	FULL, SPACE 24" ON CENTER
*N OPH NAN	165	<i>Ophiopogon japonica</i> 'Nana'	DWARF MONDO GRASS	6" HT	6"	LINER OR POTS, SPACE 10" ON CENTER BETWEEN WALKWAY STONES AT HOUSE ENTRY
*N POD MAG	22	<i>Podocarpus macrophyllus</i>	PODOCARPUS	24" HT	24"	FULL, SPACE 24" ON CENTER, STAGGERED

\* N - ABOVE DENOTES FLORIDA SPECIES  
ALL PERVIOUS AREAS ON THE PLAN NOT SPECIFIED TO RECEIVE TREES, SHRUBS, OR GROUNDCOVER SHALL RECEIVE ST. AUGUSTINE 'FLORATAM' SOD UNLESS NOTED AS 'BAHAGRASS SOD', WHICH SHALL RECEIVE ARGENTINE VARIETY OF BAHAGRASS SOD.

TABULAR DATA CODE CHART

REGULATING DOCUMENTS: UNIFIED LAND DEVELOPMENT REGULATIONS Sec. 150-160 SINGLE FAMILY & DUPLEXES		
ZONING: RM-10		
SECTION 160: SINGLE FAMILY AND DUPLEXES	REQUIRED	PROVIDED
TREE REQUIREMENTS 1 TREE/30 LF FRONT YARD REQUIREMENTS @ 17'	6 TREES	8 TREES
SHRUBS AND GROUNDCOVER 20 SHRUBS PER REQUIRED TREE	140 SHRUBS	301 SHRUBS
NATIVE SPECIES REQUIREMENTS	60% TREES/50% SHRUBS	100% TREES/70% SHRUBS
SECTION 155-060: CLEAR SIGHT TRIANGLES	REQUIRED	PROVIDED
155-060 (A) - 10' CLEAR 3'-10' AT ANY DRIVEWAY AND STREET	10' X 10' CLEAR AT DRIVEWAY & STREET	10' X 10' CLEAR AT DRIVEWAY & NE 24th ST.
155-060 (B) - 15' CLEAR 3'-10' AT ANY TWO INTERSECTING STREETS	15' X 15' CLEAR AT TWO INTERSECTING STREETS	15' X 15' CLEAR AT NE24th ST. AND NE 13th AVE.

BELOW IS AN AUTHORIZED DIGITAL SIGNATURE AND SEAL OF THE PROFESSIONAL LISTED, BY WAY OF THIS SIGNATURE I ATTEST THAT THE DOCUMENTS HEREIN, IF UNDER A VERIFIED ELECTRONIC SEAL, WERE PREPARED, SIGNED AND AUTHORIZED FOR SUBMITTAL BY ME ON THE DATE OF SIGNING, WITH ALL AUTHORITY AND RIGHTS GRANTED TO ME BY THE STATE OF FLORIDA SS 481.303 PART II AND ASSOCIATED REFERENCES THEREIN.

LICENSED PROFESSIONAL  
William Dale Bryant  
FL LICENSE NUMBER  
LA666943

PROJECT #	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	REVISIONS
21-119	05-17-22	AS NOTED	WDB	WDB	WDB	

FLORIDA  
BROWARD COUNTY

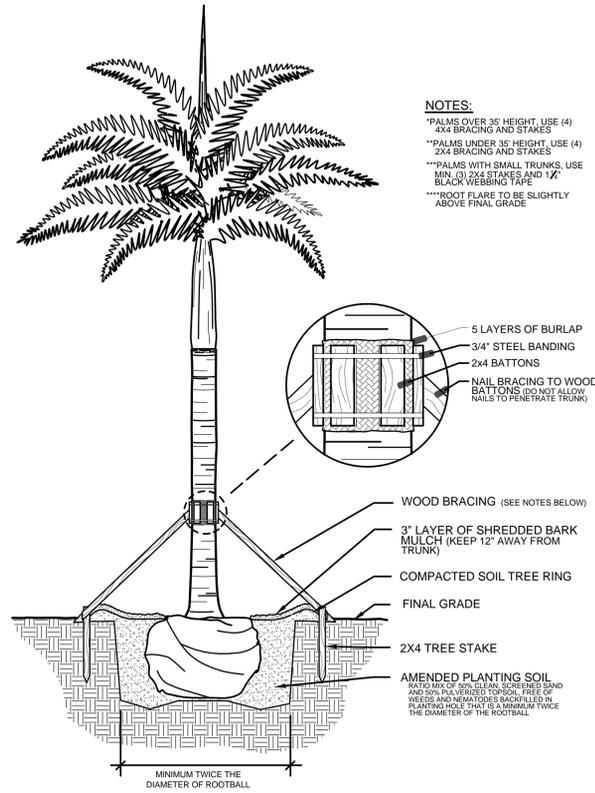
WILTON 57  
NEW DUPLEX RESIDENCE  
1308 NE 24th Street  
Wilton Manors, FL

GREEN EARTH  
LANDSCAPE ARCHITECTURE  
HOLLYWOOD, FLORIDA  
PHONE: 954-511-9151  
EMAIL: info@greenearth.com

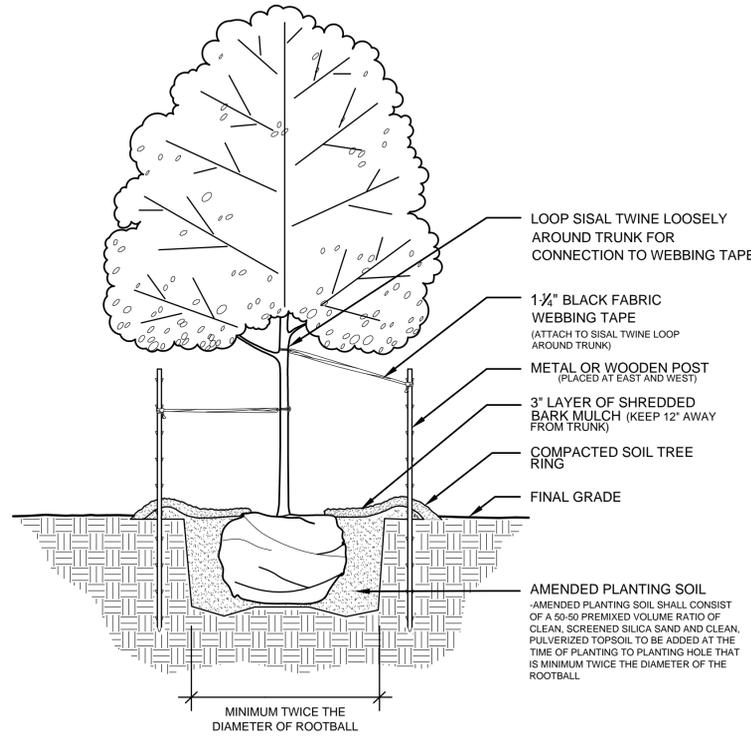
LANDSCAPE  
PLANTING PLAN

SHEET NUMBER  
L-200

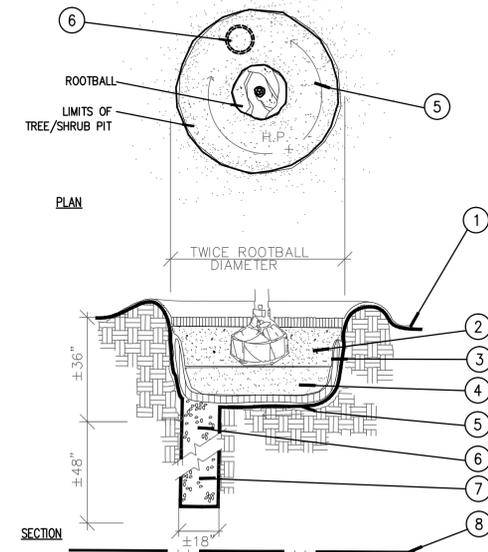
This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any improper reliance on this document without written authorization and adaptation by Green Earth Landscape Architecture shall be without liability to Green Earth Landscape Architecture.



**1 PALM PLANTING DETAIL**  
SECTION N.T.S.

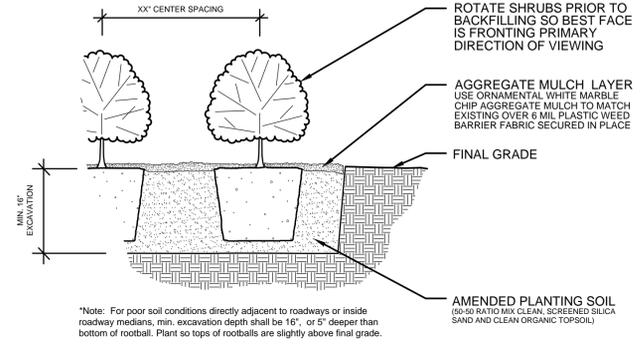


**2 TREE PLANTING DETAIL**  
SECTION N.T.S.

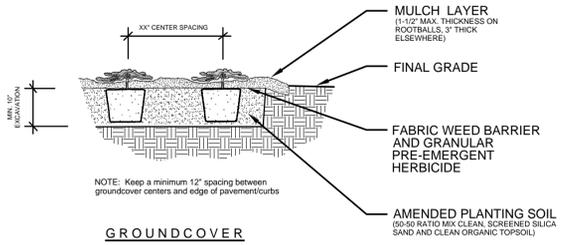


**3 POOR DRAINAGE DETAIL**  
SECTION N.T.S.

- NOTES:**
1. FINISH GRADE
  2. BACKFILL WITH AMENDED 5% PLANTING SOIL
  3. FILTER CLOTH
  4. 12" CLEAN, COARSE SAND
  5. SLOPE BOTTOM TO DRAIN
  6. +/- 18" AUGERED HOLE PENETRATE THROUGH OCCLUDING LAYER TO WATER TABLE OR TO A DEPTH OF 5' TO ASSURE PROPER PERCOLATION OF WATER
  7. BACFILL WITH 3/4" DIAMETER WASHED GRAVEL
  8. WATER TABLE (DEPTH VARIES)
- NOTE: FOR A PARKING ISLAND PLANTING SITUATION, CONTRACTOR TO BACKFILL ENTIRE LENGTH OF PLANTING AREA TO WITHIN 6" OF BACK OF CURB OR EDGE OF PAVEMENT

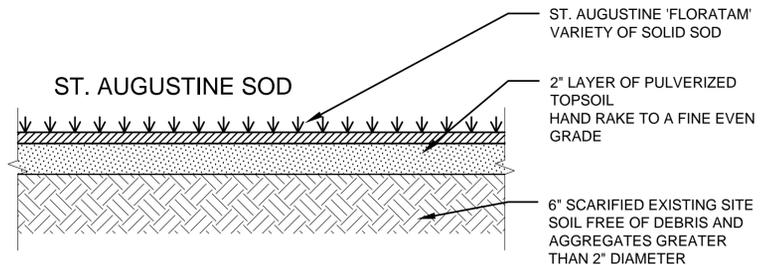
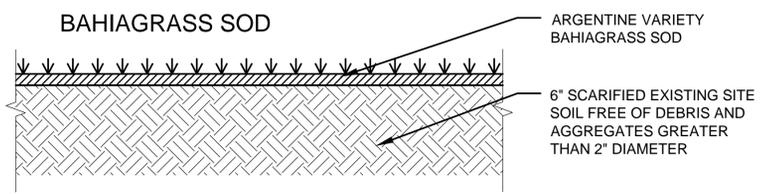


**SHRUB**



**GROUNDCOVER**

**4 SHRUB/GROUNDCOVER PLANTING DETAIL**  
SECTION N.T.S.



**5 SOD PLANTING DETAIL**  
SECTION N.T.S.

BELOW IS AN AUTHORIZED DIGITAL SIGNATURE AND SEAL OF THE PROFESSIONAL LISTED. BY WAY OF THIS SIGNATURE I ATTEST THAT THE DOCUMENTS HEREIN, IF UNDER A VERIFIED ELECTRONIC SEAL, WERE PREPARED, SIGNED AND AUTHORIZED FOR SUBMITTAL BY ME ON THE DATE OF SIGNING, WITH ALL AUTHORITY AND RIGHTS GRANTED TO ME BY THE STATE OF FLORIDA SS 481.303 PART II AND ASSOCIATED REFERENCES THEREIN.

LICENSED PROFESSIONAL  
 William Dale Bryant  
 FL LICENSE NUMBER  
 LA6666943

NO.	REVISIONS	DATE	BY

PROJECT #	21-119
DATE	05-17-22
SCALE	AS NOTED
DESIGNED BY	WDB
DRAWN BY	WDB
CHECKED BY	WDB

WILTON 57  
 NEW DUPLEX RESIDENCE  
 1308 NE 24th Street  
 Wilton Manors, FL  
 BROWARD COUNTY, FLORIDA

**GREEN EARTH**  
 LANDSCAPE ARCHITECTURE  
 HOLLYWOOD, FLORIDA  
 PHONE: 954-634-9251  
 EMAIL: GEAR@GREENEARTHFLA.COM

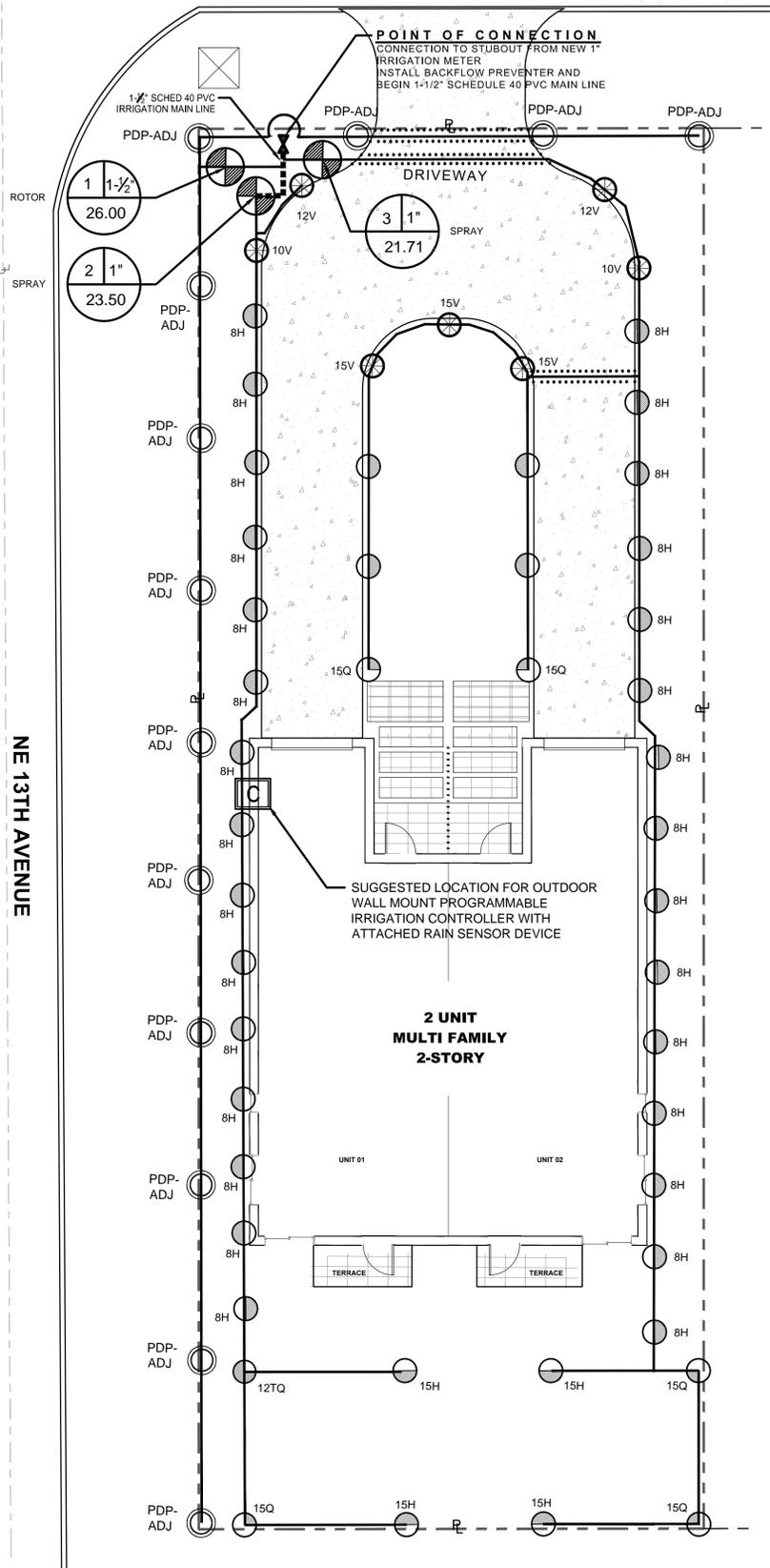
**LANDSCAPE DETAILS**

NE 24TH STREET

IRRIGATION NOTES & SPECIFICATIONS

- CONTRACTOR TO VISIT SITE AND REVIEW PLANS PRIOR TO SUBMITTING A PROPOSAL TO OWNER, AND SHALL BRING ANY DISCREPANCIES WITHIN THE PLANS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL.
- THESE PLANS WERE PREPARED BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF DESIGN
- CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES BEFORE WORK COMMENCES AND SHALL PROTECT ALL UNDERGROUND/ABOVE GROUND UTILITIES AND EXISTING CONDITIONS-TO-REMAIN DURING CONSTRUCTION. THIS PLAN NOT COMPLETE WITHOUT ALL LANDSCAPE SHEETS.
- IRRIGATION SYSTEM WILL BE A NEW 1" IRRIGATION METER WITH BACKFLOW PREVENTION DEVICE, ELECTRONIC CONTROL VALVES, POP-UP SPRINKLER SPRAY HEADS AND GEAR DRIVE ROTOR HEADS, AND AN AUTOMATIC PROGRAMMABLE TIMER WITH RAIN SENSOR SHUT-OFF DEVICE. IRRIGATION CONTRACTOR TO COORDINATE WITH MEP ENGINEER AND GENERAL CONTRACTOR TO COORDINATE POWER NEEDS FOR CONTROLLER AND ALL SLEEVES PRIOR TO INSTALLATION OF PAVEMENT. THIS MUST BE DONE BEFORE PROJECT CONSTRUCTION BEGINS SO PROPER CALCULATIONS CAN BE DETERMINED AND PROPER INFRASTRUCTURE FOR IRRIGATION AND ELECTRICAL REQUIREMENTS ARE PROVIDED BEFORE PAVING OCCURS. CONTROLLER LOCATION SHOWN IS RECOMMENDED LOCATION ONLY. FINAL DETERMINATION TO BE BY OWNER OR OWNER'S REPRESENTATIVE FOR CONVENIENCE, EASE OF MAINTENANCE AND ACCESS.
- THE SCOPE OF WORK INTENDED WHEN BIDDING ON THESE IRRIGATION PLANS IS TO PROVIDE A COMPLETE, COMPLIANT, SAFE, FULLY-OPERATIONAL, INSTALLED IRRIGATION SYSTEM ACCORDING TO THE DESIGNED IRRIGATION SYSTEM HEREIN. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR ALL COMPONENTS, APPROVALS, AND WORKMANSHIP TO MAKE THE SYSTEM FUNCTION PROPERLY AND PROVIDE 100% (HEAD-TO-HEAD) COVERAGE OF ALL PERVIOUS AREAS WITHIN THE SCOPE OF WORK.
- THE IRRIGATION CONTRACTOR SHALL VISIT THE SITE PRIOR TO PLACING A BID AND BECOME FAMILIAR WITH EXISTING CONDITIONS. AFTER REVIEWING THE PLANS AND VISITING THE SITE, CONTRACTOR SHALL BRING ALL QUESTIONS OR POTENTIAL CONFLICTS TO THE WRITTEN ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PLACING A BID.
- ALL SLEEVING SHALL BE SCHEDULE 40 PVC TO SIZE INDICATED ON PLAN, OR IF NOT INDICATED, A MIN. OF 2 PIPE SIZES LARGER THAN THE SUPPLY LINE(S) CONTAINED. ALL SLEEVES SHALL BE INSTALLED A MIN. OF 12" BELOW FINISHED GRADE OF PAVEMENT OR AS REQUIRED BY CODE. ALL PIPE AND CONTROL WIRING SHALL BE INSTALLED IN SLEEVES WHEN BENEATH PAVEMENT.
- ALL AUTOMATIC RAINBIRD VALVES SHALL BE INSTALLED IN A RECTANGULAR FIBERGLASS BOX AND SHALL BE ARRANGED FOR EASY ADJUSTMENT AND ACCESS. THE FLOW ADJUSTMENT FEATURE OF EACH VALVE SHALL BE UTILIZED TO BALANCE OPERATING PRESSURES THROUGHOUT THE SYSTEM. VALVE BOXES SHALL BE INSTALLED FLUSH WITH GRADE AND SHALL INSURE PERCOLATION THROUGH THE BOX.
- WATERING TIME PER STATION WILL BE DETERMINED IN THE FIELD AND PER LOCAL REQUIREMENTS OR RESTRICTIONS. REFER TO MANUFACTURER'S INSTRUCTIONS FOR PRECIPITATION RATES OF SPRINKLERS SPECIFIED.
- IRRIGATION PLAN IS SCHEMATIC. IRRIGATION CONTRACTOR TO ADJUST TO FIELD CONDITIONS AND INACCURACIES THAT ARE INHERENT WITH DRAWINGS AT THIS SCALE. IRRIGATION CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR ANY SUBSTANTIAL CHANGES THAT WOULD NOT CONFORM TO THE INTENT OF THE IRRIGATION PLANS. NO SUBSTITUTIONS IN MANUFACTURER MATERIALS WILL BE ACCEPTED UNLESS ACCEPTED IN WRITING BY THE LANDSCAPE ARCHITECT OF RECORD PRIOR TO ORDERING, PLANNING, OR INSTALLATION.
- ALL MAIN AND LATERAL PIPING RUNS TO HAVE SOLVENT WELD JOINTS.
- CONTROLLER SHALL BE RAINBIRD ESP-RZx6 SERIES CONTROLLER WITH INTEGRATED RAIN SENSOR SHUTOFF DEVICE
- PLAN WAS DESIGNED BASED ON ASSUMPTION OF AT LEAST 30 PSI TO END OF ZONES INCLUDING PRESSURE LOSS FROM PIPE RUN LENGTHS, TURNS, ZONE VALVES, FITTINGS AND ELEVATION CHANGES.
- ALL ZONE VALVE WIRING TO BE DIRECT BURIAL TYPE AS RECOMMENDED BY ZONE VALVE MANUFACTURER.
- INSTALL A MINIMUM OF ONE (1) BUBBLER NOZZLE AT EACH TREE OR PALM ROOTBALL SET AT A RATE OF .25 GPM. BUBBLER NOZZLES ARE NOT SHOWN ON THE PLAN FOR GRAPHIC CLARITY OF OTHER COMPONENTS.
- SEE SHEET L-301 IRRIGATION DETAILS FOR MORE INFORMATION.

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Green Earth Landscape Architecture, shall be without liability to Green Earth Landscape Architecture.

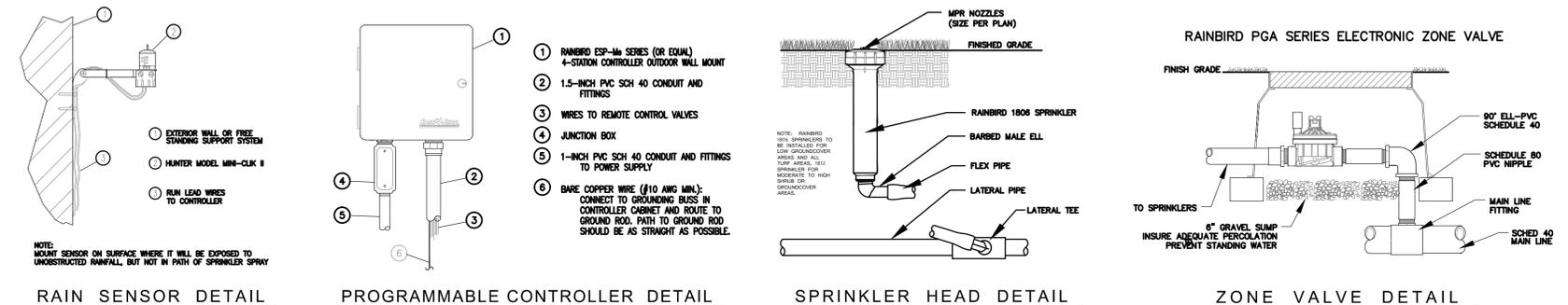


IRRIGATION PLAN

SCALE: 1/8" = 1'-0"



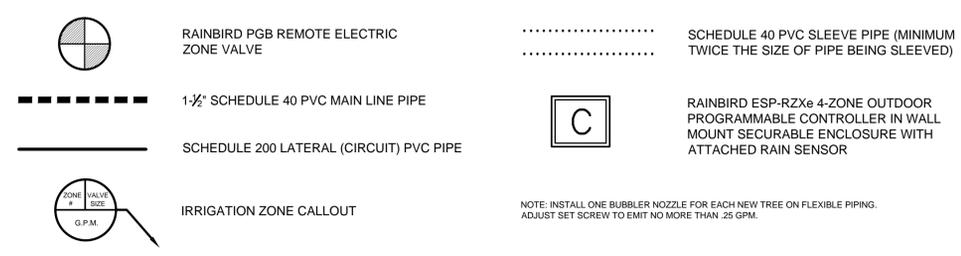
IRRIGATION DETAILS N.T.S.



SPRINKLER HEAD SCHEDULE

SYMBOL	DESCRIPTION	G.P.M.	THROW
⊕ 8H	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 8H MPR SPRAY NOZZLE	.52	8'
⊕ 10V	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 10 VARIABLE ARC MPR SPRAY NOZZLE	VARIES	10'
⊕ 12Q	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 12Q MPR SPRAY NOZZLE	.65	12'
⊕ 12T	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 12T MPR SPRAY NOZZLE	1.30	12'
⊕ 12H	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 12H MPR SPRAY NOZZLE	1.30	12'
⊕ 12V	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 12 VARIABLE ARC MPR SPRAY NOZZLE	VARIES	12'
⊕ 15Q	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 15Q MPR SPRAY NOZZLE	.92	15'
⊕ 15H	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 15H MPR SPRAY NOZZLE	1.85	15'
⊕ 15V	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 15 VARIABLE ARC MPR SPRAY NOZZLE	VARIES	15'
⊕ PDP-ADJ	HUNTER PDP ADJUSTABLE POP UP GEAR DRIVE ROTOR (SPRAY NOZZLE VARIES WITH RADI)	2.50	30' MAX.

IRRIGATION SYMBOL LEGEND



BELOW IS AN AUTHORIZED DIGITAL SIGNATURE AND SEAL OF THE PROFESSIONAL LISTED BY WAY OF THIS SIGNATURE I ATTEST THAT THE DOCUMENTS HEREIN, IF UNDER A VERIFIED ELECTRONIC SEAL, WERE PREPARED, SIGNED AND AUTHORIZED FOR SUBMITTAL BY ME ON THE DATE OF SIGNING, WITH ALL AUTHORITY AND RIGHTS GRANTED TO ME BY THE STATE OF FLORIDA SS 481 303 PART II AND ASSOCIATED REFERENCES THEREIN.

LICENSED PROFESSIONAL  
 William Dale Bryant  
 FL LICENSE NUMBER  
 LA6666943

PROJECT #	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	NO.	DATE	BY
21-119	05-17-22	AS NOTED	WDB	WDB	WDB			

FLORIDA  
 BROWARD COUNTY

WILTON 57  
 NEW DUPLEX RESIDENCE  
 1308 NE 24th Street  
 Wilton Manors, FL

GREEN EARTH  
 LANDSCAPE ARCHITECTURE  
 WILTON MANORS, FLORIDA  
 PHONE: 352-431-1515  
 E-MAIL: dale.bryant@greenearthla.com

IRRIGATION  
 PLAN & DETAILS

SHEET NUMBER  
 L-300