

PLANNING AND ZONING SUBMITTAL FOR NEW TOWNHOUSE PROJECT

WILTON YARDS TOWNHOUSES 2700 NE 9TH AVE., WILTON MANORS, FL 33334

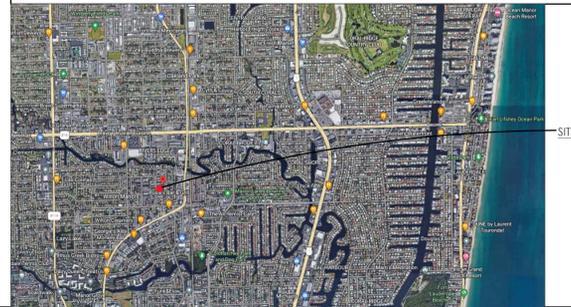
DRC CASE # : SP 22 - 14
APPROVAL DATE: MAY 2, 2023



COLORED RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY

NORTHWEST STREET VIEW

LOCATION MAP



PROJECT DESCRIPTION

SCOPE OF WORK:
CONSTRUCTION OF THREE STORY TOWNHOUSE PROJECT
CONSTRUCTION AND OCCUPANCY TYPE:
TYPE OF CONSTRUCTION:----- V A (PROTECTED)
OCCUPANCY TYPE:----- RESIDENTIAL GROUP R-2
ALTERATIONS LEVEL:----- NEW CONSTRUCTION
BUILDING PLANNING : FIRE SEPARATION REQUIREMENTS BASED ON FBC 2020 - R302.2
APPLICABLE CODES:
2020 FLORIDA BUILDING CODE SEVENTH EDITION (FBC); RESIDENTIAL
2020 FBC - MECHANICAL
2020 FBC - PLUMBING
2018 NATIONAL ELECTRICAL CODE
2020 FLORIDA ENERGY EFFICIENCY CODE (CHAPTER 13 FBC)
2020 FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION
2020 FBC BROWARD AMENDMENTS 101.2
PROJECT CLASSIFICATION:
CLASSIFICATION OF WORK FOR THIS PROJECT WILL BE THAT OF NEW CONSTRUCTION PER THE FLORIDA BUILDING CODE RESIDENTIAL 2020.

PROJECT TEAM

PROJECT ARCHITECT
NEST PLANS INC.
2601 EAST OAKLAND PARK SUITE 406
FORT LAUDERDALE FLORIDA 33306
PHONE 954.529-9000
CONTACT STEWART ROBIN - PROJECT MANAGER
E-MAIL STEWART@NESTPLANS.COM

CIVIL
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CONTACT REGINA BOBO-JACKSON
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LANDSCAPE
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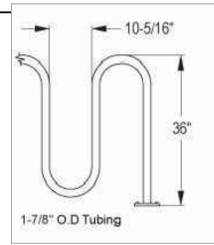
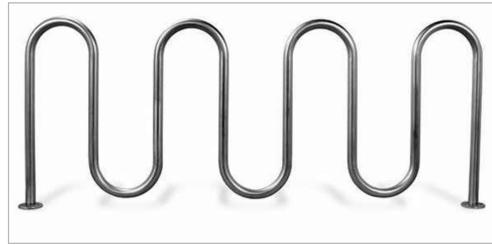
REVISIONS	DATE	DESCRIPTION

Job No: NEST - 2153
Date: 8/23/2023
Drawn by: SAR/SG
Checked by: SG

P & Z SUBMITTAL

Drawing No.
A-000

(7) CYCLE BIKE RACK



**RM-16
3 STORY TOWNHOUSE**

**RM-16
ONE STORY DUPLEX**

**RM-16
ONE STORY SINGLE FAMILY**

**RS-5
ONE STORY SINGLE FAMILY**

SITE PLAN INFORMATION

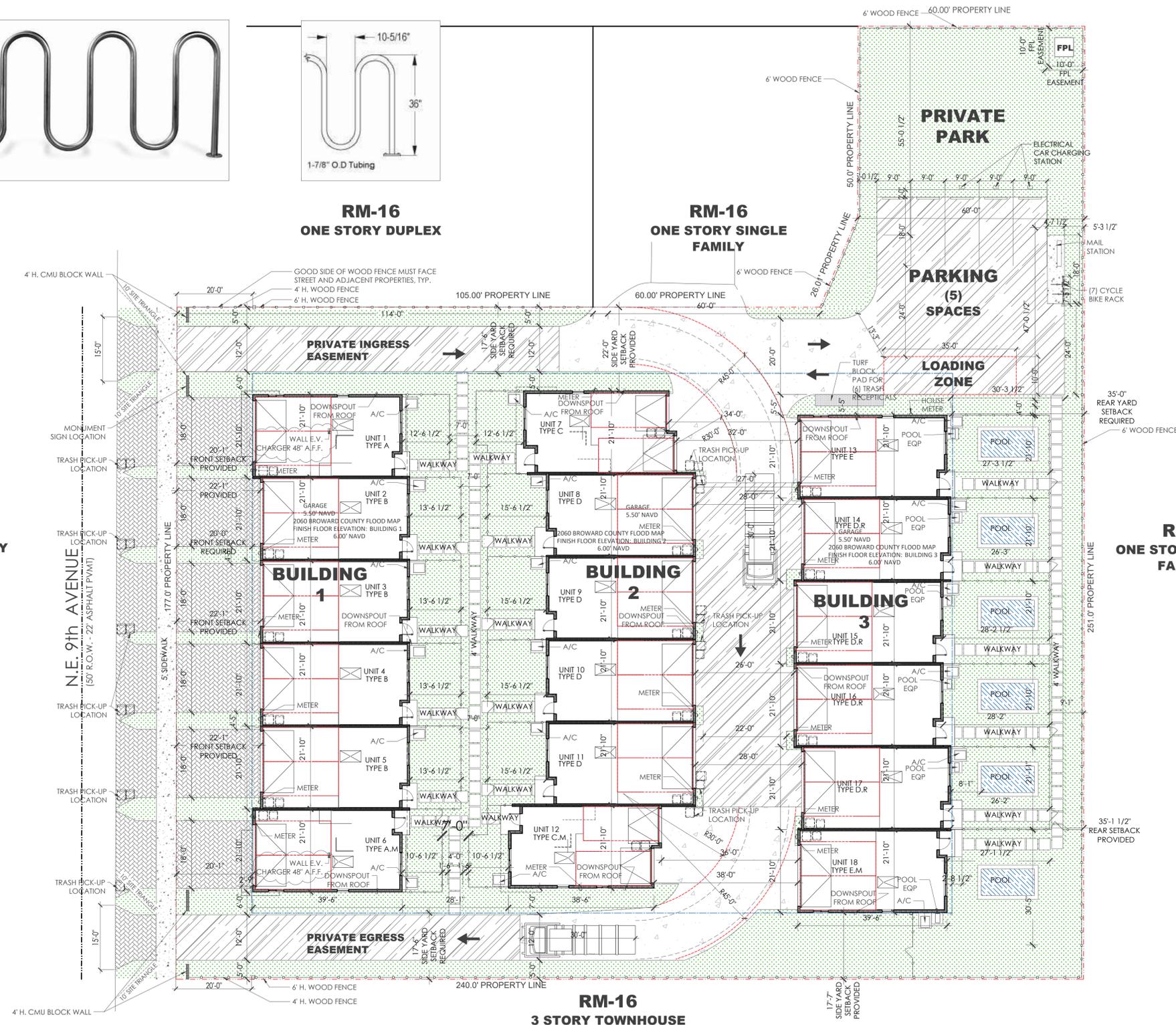
PROPERTY ADDRESS
2662 - 2700 NE 9TH AVENUE, WILTON MANORS, FLORIDA 33334

SITE PLAN DATA TABLE

A. CURRENT USE OF PROPERTY AND INTENSITY	MULTI FAMILY RESIDENCES (11 UNITS)	
B. LAND USE DESIGNATION	LOW MEDIUM (10) RESIDENTIAL	
C. ZONING DESIGNATION	RM-16	
D. WATER/WASTEWATER SERVICE PROVIDER	CITY OF WILTON MANORS	
E. SITE AREA (MINIMUM REQUIRED 9,000 SQ. FT.)	47,040 SQ. FT. / 1.08 NET ACRES 51,442 SQ. FT. / 1.18 GROSS ACRES	
G. RESIDENTIAL DEVELOPMENT RESIDENTIAL UNITS	18 UNITS	
TOTAL PROPOSED	18 UNITS	
SITE DENSITY GROSS- 51,442 SQ. FT. / 43,650 = 1.18 X 16 UNITS PER ACRE = 18.88 UNITS		
F. EXISTING AND PROPOSED SQUARE FOOTAGES FOR RESIDENTIAL PROJECT		
EXISTING		
2662 NE 9TH AVENUE	0 SQ. FT.	
2682 NE 9TH AVENUE	2,264 SQ. FT.	
2688-90 NE 9TH AVENUE	1,105 SQ. FT.	
2692-94 NE 9TH AVENUE	1,225 SQ. FT.	
2700 NE 9TH AVENUE	1,249 SQ. FT.	
PROPOSED	5,843 SQ. FT. 12.4% LOT COVERAGE	
BUILDING 1	5,258 SQ. FT.	
BUILDING 2	5,159 SQ. FT.	
BUILDING 3	5,258 SQ. FT.	
	15,675 SQ. FT. - 33.3% LOT COVERAGE	
O. VEHICULAR USE AREA: NOT ENCLOSED OR COVERED	12,309 SQ. FT. (DRIVEWAY AND PARKING)	
P. COMMON SPACE:	20,928 SQ. FT. TOTAL (COMMON AREAS)	
P. PLOT COVERAGE BY ROOFED STRUCTURES		
PROPOSED		
BUILDING 1	5,258 SQ. FT.	
BUILDING 2	5,159 SQ. FT.	
BUILDING 3	5,258 SQ. FT.	
	15,675 SQ. FT. - 33.3% LOT COVERAGE	
Q. PERVIOUS VERSES IMPERVIOUS - SITE AREA 47,040 SQ. FT.		
IMPERVIOUS ALLOWABLE	60% 28,224 SQ. FT.	
BUILDINGS AND STRUCTURES	15,675 SQ. FT. 33.3%	
DRIVEWAYS AND PARKING	12,309 SQ. FT. 26.2%	
	27,984 SQ. FT. 59.5%	
PERVIOUS - MINIMUM REQUIRED 40%	18,818 SQ. FT.	
LANDSCAPE AREAS	19,061 SQ. FT. 40.5%	
PARKING DATA - DUPLEX-MULTIFAMILY-TOWNHOUSE - See - 135-080.8.4		
TOTAL PARKING REQUIRED:		
TOWNHOUSE : 2.7 PARKING PER UNIT + .10 GUEST PARKING PER UNIT = 3 PER UNIT		
NUMBER OF UNITS 18 X 2.7 SPACES PER UNIT =	48.6 SPACES	
NUMBER OF GUESTS PARKING 10% =	4.9 SPACES	
NUMBER OF PARKING SPACES REQUIRED =	54 SPACES	
TOTAL PARKING PROVIDED:		
UNITS A (4) SPACES* - 2 UNIT A X (4) SPACES =	8 SPACES	
UNITS B (4) SPACES* - 4 UNIT B X (4) SPACES =	16 SPACES	
UNITS C (2) SPACES* - 2 UNIT C X (2) SPACES =	4 SPACES	
UNITS D (2) SPACES* - 8 UNIT D X (2) SPACES =	16 SPACES	
UNITS E (2) SPACES* - 2 UNIT E X (2) SPACES =	4 SPACES	
ADDITIONAL GUEST PARKING ON SITE -	5 SPACES	
TOTAL SPACES PROVIDED ON SITE -	53 SPACES	
* NOTE: (2) PARKING SPACES FOR EACH DWELLING UNIT ARE ENCLOSED IN GARAGES		
SECTION 170-080 BICYCLE PARKING AND STORAGE		
REQUIRED - 18 UNITS / 1 SPACE PER (5) UNITS =	4 SPACES	
PROVIDED -	7 SPACE BICYCLE PARKING RACK	
E. SITE AREA (MINIMUM REQUIRED 9,000 SQ. FT.)	47,040 SQ. FT. / 1.08 NET ACRES	
E. SITE LENGTHS		
WIDTH - 75' MINIMUM REQUIRED - 177' PROVIDED (251' REAR)		
DEPTH - 0' MINIMUM REQUIRED - 240' PROVIDED		
N. SETBACK TABLE REQUIRED VS. PROVIDED - 020-060-RM-16		
DESCRIPTION	REQUIRED	BUILDING PROVIDED
FRONT (WEST)	20'-0"	20'-1"
REAR (EAST)	35'-0"	35'-1 1/2"
SIDE (NORTH)	17'-6"	22'-0"
SIDE (SOUTH)	17'-6"	17'-7"
K. BUILDING HEIGHT: 020-060		
MAXIMUM 3 STORIES, BUT 4 IF GROUND FLOOR USED FOR PARKING ONLY MAX 50 FT.		
PROVIDED - 3 STORIES - 35'		
J. FLOOR AREA RATIO: 100% - MINIMUM REQUIRED 600 SQ. FT.		
TOTAL BUILDING GROSS SQUARE FOOTAGE:		
BUILDING 1	15,708 SQ. FT. (2,618 SQ. FT. X 6 UNITS)	
BUILDING 2	15,526 SQ. FT. (2,557 SQ. FT. X 6 UNITS AND 2,603 X 4 UNITS)	
BUILDING 3	15,618 SQ. FT. (2,603 SQ. FT. X 6 UNITS)	
TOTAL SQUARE FOOTAGE	46,852 SQ. FT. / 47,045 SQ. FT.	
FLOOD ZONE AND FINISH FLOOR ELEVATIONS		
NOTE ***: 2060 BROWARD COUNTY FLOOD MAP		
NAVD - BFE 6'		
FINISH FLOOR ELEVATION:		
BUILDING 1 6.00' NAVD		
BUILDING 2 6.00' NAVD		
BUILDING 3 6.00' NAVD		
NOTE *: ALL ELEVATIONS ON PLANS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988		

SITE PLAN LEGEND

	PROPERTY LINE
	PROPOSED BUILDING FOOTPRINT LINE
	CMU BLOCK
	PROPOSED PAVING AREA
	PROPOSED TURF BLOCK AREA
	PROPOSED ASPHALT AREA
	PROPOSED CONCRETE AREA
	PROPOSED LANDSCAPE AREA
	6' ALUMINUM FENCE
	6' WOOD FENCE HORIZONTAL SLAT



1 PROPOSED SITE PLAN - 18 UNITS
A-001 scale: 1:15

- SOLID WASTE:
- Garbage, Recycling and Bulk Trash shall be provided by the City. (4) POINTS
 - Service Days shall be: Scheduled service days will be set by the City. (4) POINTS
 - Containers shall not be stored in public view on non-collection days. (4) POINTS

- ARTICLE 170: MULTIFAMILY RESIDENTIAL - 12 POINTS
- ELECTRIC CHARGING STATIONS (2) ADDITIONAL STATIONS (4) POINTS
 - WHITE ROOF - ROOFING WILL BE TPO WHITE MEMBRANE ROOFING (4) POINTS
 - ENERGY STAR RATED APPLIANCES (ALL APPLIANCES/EQUIPMENT TOTAL POINTS) (4) POINTS

LEED PROFESSIONAL: STEWART ROBIN - LEED AP

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REVISIONS

Job No: NEST - 2153
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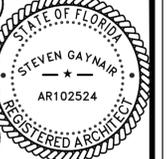
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Drawing No. **A-001**

GREEN BUILDING DEVELOPMENT OPTIONS AND POINTS

MULTI-FAMILY RESIDENTIAL SHALL ACHIEVE A MINIMUM OF TWELVE (12) POINTS

ELECTRIC VEHICLE CHARGING STATION(S) ABOVE REQUIRED #	2 POINTS FOR EACH STATION INSTALLED ABOVE THE BASELINE NUMBER REQUIRED BY THE CODE. 3 REQUIRED, 5 PROVIDED.	4 POINTS
WHITE ROOF	THE ENTIRE ROOF SURFACE MUST BE COVERED IN WHITE/REFLECTIVE COVERING. WHITE T.P.O. MEMBRANE ROOF.	4 POINTS
ENERGY STAR RATING FOR ALL APPLIANCES/EQUIPMENT	ALL APPLIANCES/EQUIPMENT ASSOCIATED WITH THE BUILDING ARE ENERGY STAR RATED.	4 POINTS
TOTAL		12 POINTS



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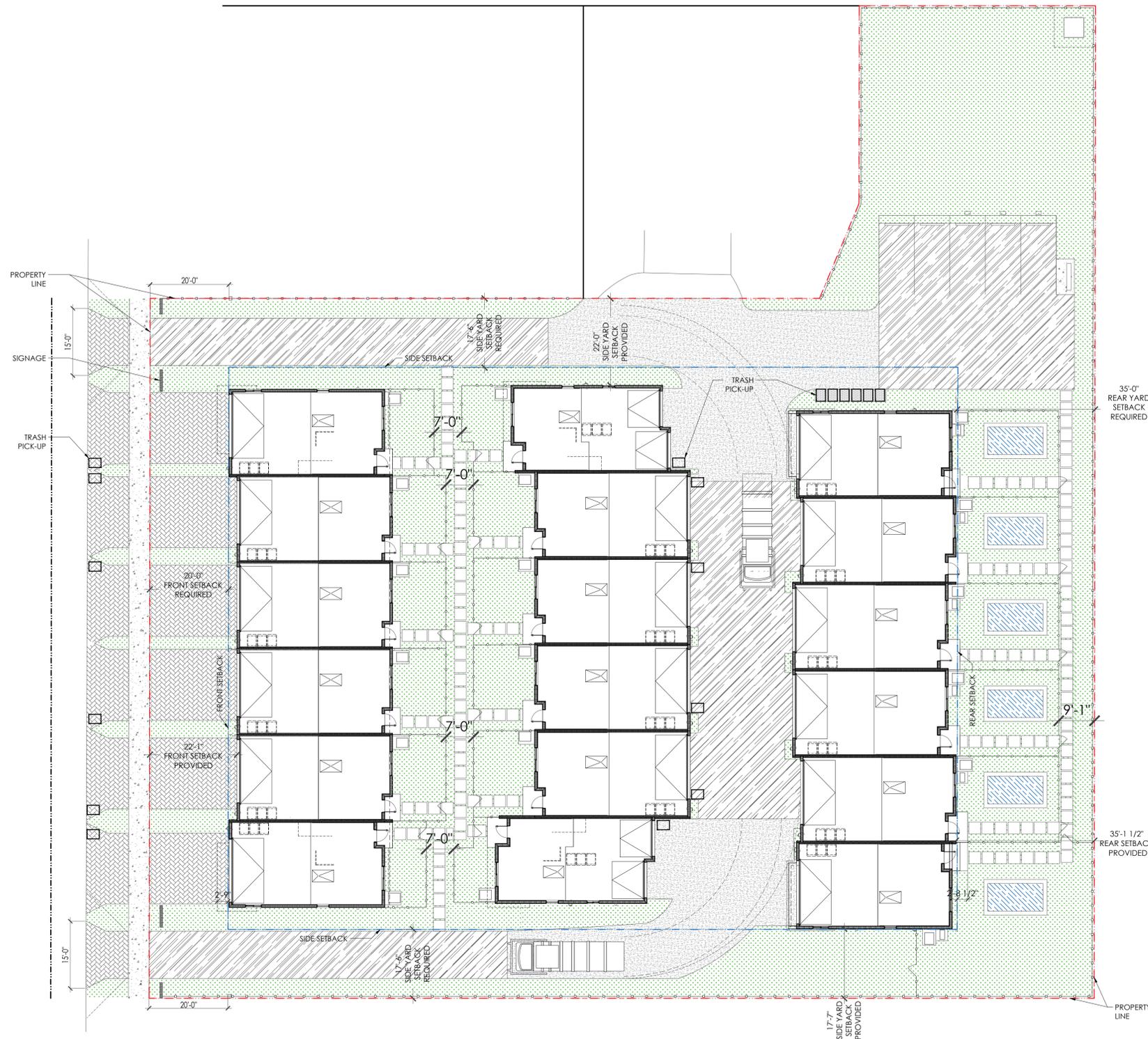
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REVISIONS	DRC COMMENTS

Job No: NEST - 2153
Date: 1/19/2023
Drawn by: SAR/SG
Checked by: SG

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Drawing No.

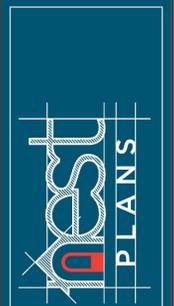
A-003



1 PROPOSED SITE SETBACKS
A-003 scale: 1:15



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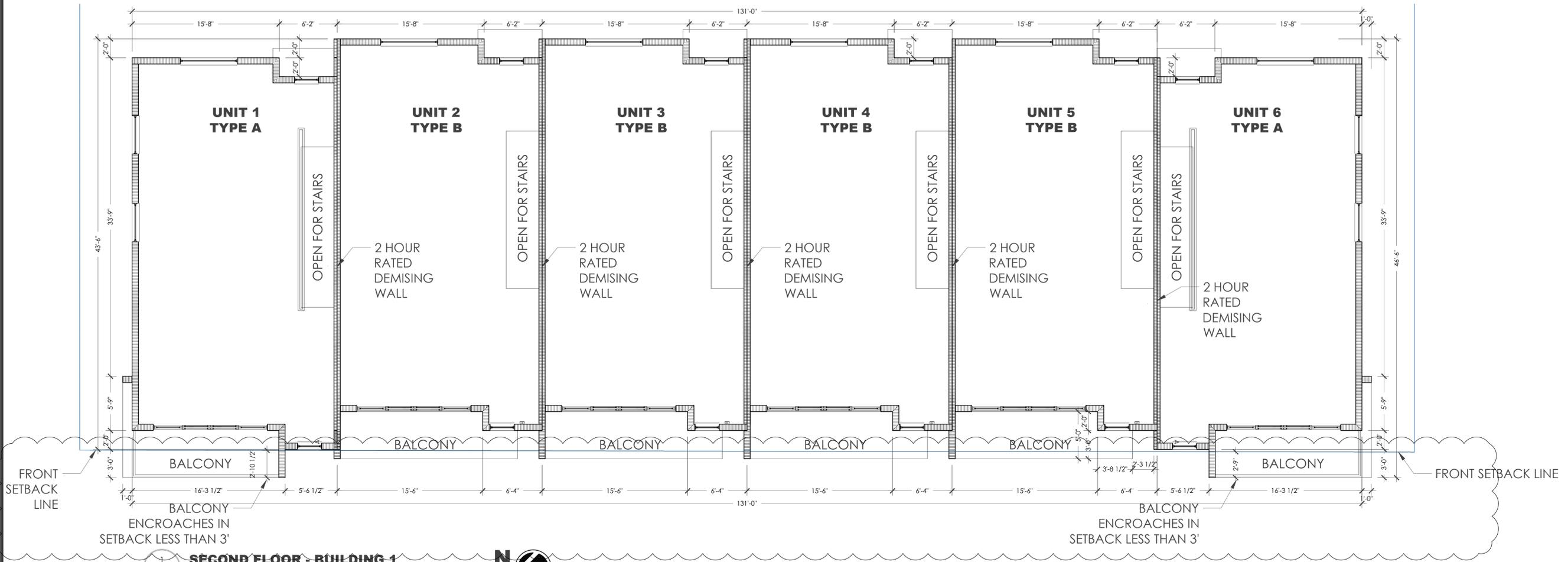
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1	08/27/23	ISSUE FOR PERMITS

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 Checked by: SG

DRC SUBMITTAL

Drawing No.

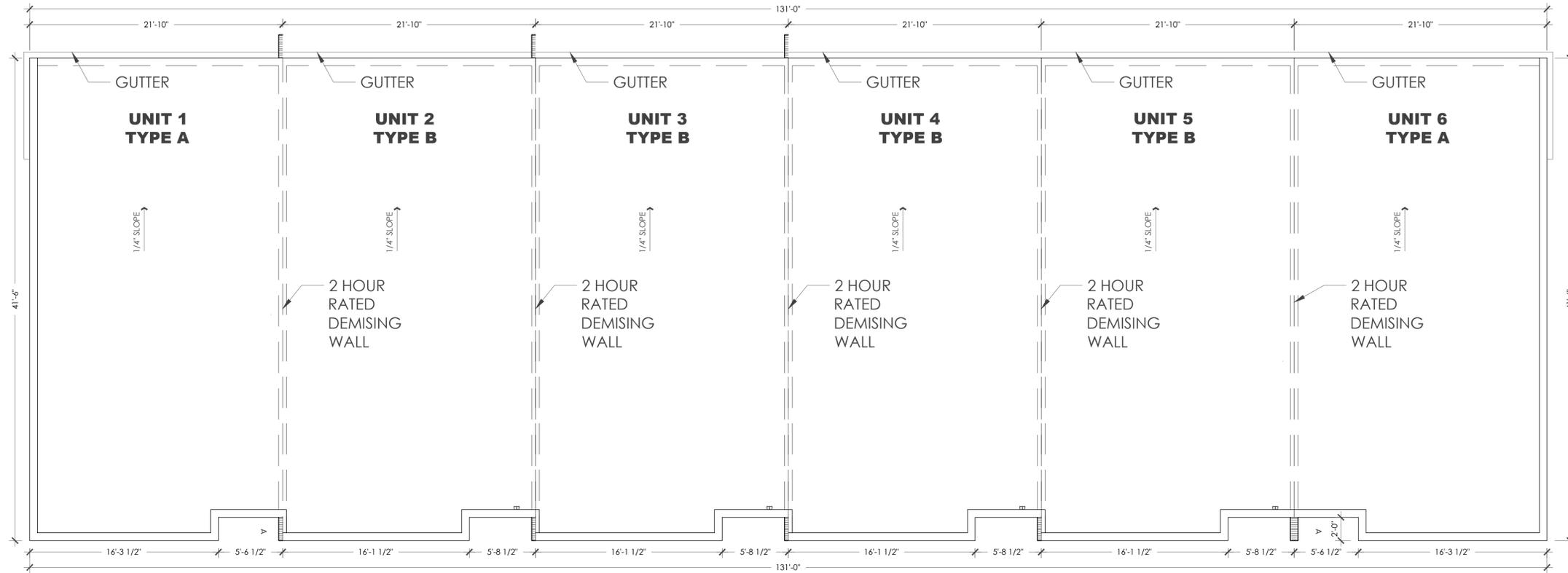
A-102



SECOND FLOOR - BUILDING 1
 A102 scale: 3/16" = 1'-0" N

FLOOR PLAN GENERAL NOTES	AREAS	LOCATION DIAGRAM	FLOOR PLAN LEGEND
<ol style="list-style-type: none"> ALL NEW WALLS TO BE TAPED, SPACKLED AND SANDED SMOOTH, READY TO RECEIVE NEW FINISH. ALL INTERIOR PARTITIONS TO BE 3-5/8" MTL STUDS @ 16" O.C., U.O.N. DIMENSIONS SHALL BE FIGURED. DO NOT SCALE DRAWINGS. IN THE EVENT OF CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY THE ARCHITECT, THE BETTER QUALITY OF GREATER QUANTITY OF WORK SHALL BE PROVIDED IN ACCORDANCE WITH THE ARCHITECT'S INTERPRETATION. DO NOT MECHANICALLY SECURE OR BRACE NEW PARTITIONS TO EXISTING WINDOW MULLIONS, WINDOW SILLS, DUCTWORK, CONDUITS, OR PIPING. CORNER BEADS ARE TO BE INSTALLED ON ALL CORNERS AND TO BE SPACKLED SMOOTH WITH ADJACENT AREA. STUDS SIZE SHALL BE PER MANUFACTURER SPECIFICATION FOR HEIGHT, GAUGE AND SPACING UNLESS OTHERWISE NOTED. DOUBLE STUDS ARE REQUIRED @ BOTH JAMBS OF DOOR FRAME AND HEADER. STUDS AT DOOR JAMBS AND ON TOPS OF DOOR FRAMES MUST BE SCREWED TO RUNNERS AT TOP, BOTTOMS AND BOTH SIDES. ALL GLAZING AT SHOWERS AND TUB ENCLOSURES TO BE TEMPERED, SAFETY GLASS. EMERGENCY EGRESS WINDOW OR DOOR SHALL BE OPERABLE FROM THE INSIDE WITH-OUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT AND 5.7 S.F. IN AREA. <p>NOTES:</p> <ul style="list-style-type: none"> Entry doors should be solid, impact resistant or metal. Residential units entry doors should be equipped with a quality secondary deadbolt locking system and have a 180 degree peephole or view port for security. Garage doors should be impact resistant. Sliding glass doors and sliding glass windows should be equipped with burglary deterrent features such as track blocks, door pins or deadbolts. The door should also provide features to prevent the doors from being lifted off track. All glazing should be impact resistant. Units should be pre-wired for an alarm system. 	<p>1 (TYPE A) SECOND FLOOR (AC) 807 SQ. FT. SECOND FLOOR BALCONY 80 SQ. FT. TOTAL: 887 SQ. FT.</p> <p>2 (TYPE B) SECOND FLOOR (AC) 807 SQ. FT. SECOND FLOOR BALCONY 80 SQ. FT. TOTAL: 887 SQ. FT.</p> <p>3 (TYPE B) SECOND FLOOR (AC) 807 SQ. FT. SECOND FLOOR BALCONY 80 SQ. FT. TOTAL: 887 SQ. FT.</p> <p>4 (TYPE B) SECOND FLOOR (AC) 807 SQ. FT. SECOND FLOOR BALCONY 80 SQ. FT. TOTAL: 887 SQ. FT.</p> <p>5 (TYPE B) SECOND FLOOR (AC) 807 SQ. FT. SECOND FLOOR BALCONY 80 SQ. FT. TOTAL: 887 SQ. FT.</p> <p>6 (TYPE A) SECOND FLOOR (AC) 807 SQ. FT. SECOND FLOOR BALCONY 80 SQ. FT. TOTAL: 887 SQ. FT.</p> <p>SECOND FLOOR BLDG. 1 TOTAL: 5322 SQ. FT.</p>	<p>2 LOCATION DIAGRAM scale: NTC</p>	<p>FLOOR PLAN LEGEND</p> <ul style="list-style-type: none"> ELEV. No SHEET No EXTERIOR ELEVATION LABEL SECT. No SHEET No SECTION LABEL ENLGD. No SHEET No ENLARGED PLAN LABEL 4" / 6" PARTITION WALL TYPICAL - REFER TO ENLARGED PLANS FOR SPECIFIC CONSTRUCTION 8" REINFORCED CONCRETE MASONRY UNIT (CMU) WALL CONSTRUCTION - 2 HOUR RATED WINDOW DESIGNATION. SEE WINDOW SCHEDULE DOOR DESIGNATION. SEE DOOR SCHEDULE

NOTE *: ALL FINISH FLOOR ELEVATIONS ON PLANS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988

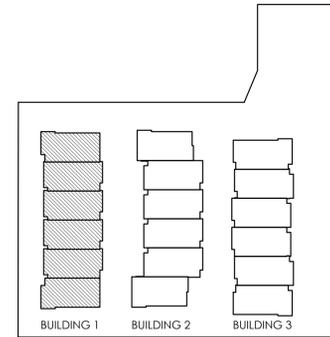


1
A104 **ROOF - BUILDING 1**
scale: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. ALL NEW WALLS TO BE TAPED, SPACKLED AND SANDED SMOOTH, READY TO RECEIVE NEW FINISH.
 2. ALL INTERIOR PARTITIONS TO BE 3-5/8" MTL STUDS @ 16" O.C., U.O.N.
 3. DIMENSIONS SHALL BE FIGURED, DO NOT SCALE DRAWINGS. IN THE EVENT OF CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY THE ARCHITECT, THE BETTER QUALITY OR GREATER QUANTITY OF WORK SHALL BE PROVIDED IN ACCORDANCE WITH THE ARCHITECT'S INTERPRETATION.
 4. DO NOT MECHANICALLY SECURE OR BRACE NEW PARTITIONS TO EXISTING WINDOW MULLIONS, WINDOW SILLS, DUCTWORK, CONDUITS, OR PIPING.
 5. CORNER BEADS ARE TO BE INSTALLED ON ALL CORNERS AND TO BE SPACKLED SMOOTH WITH ADJACENT AREA.
 6. STUDS SIZE SHALL BE PER MANUFACTURER SPECIFICATION FOR HEIGHT, GAUGE AND SPACING UNLESS OTHERWISE NOTED.
 7. DOUBLE STUDS ARE REQUIRED @ BOTH JAMBS OF DOOR FRAME AND HEADER.
 8. STUDS AT DOOR JAMBS AND ON TOPS OF DOOR FRAMES MUST BE SCREWED TO RUNNERS AT TOP, BOTTOMS AND BOTH SIDES.
 9. ALL GLAZING AT SHOWERS AND TUB ENCLOSURES TO BE TEMPERED, SAFETY GLASS.
 10. EMERGENCY EGRESS WINDOW OR DOOR SHALL BE OPERABLE FROM THE INSIDE WITH-OUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT AND 5.7 S.F. IN AREA.
- NOTES:
- Entry doors should be solid, impact resistant or metal.
 - Residential units entry doors should be equipped with a quality secondary deadbolt locking system and have a 180 degree peephole or view port for security.
 - Garage doors should be impact resistant.
 - Sliding glass doors and sliding glass windows should be equipped with burglary deterrent features such as track blocks, door pins or deadbolts. The door should also provide features to prevent the doors from being lifted off track.
 - All glazing should be impact resistant.
 - Units should be pre-wired for an alarm system.

LOCATION DIAGRAM



2
A104 **LOCATION DIAGRAM**
scale: NTC

FLOOR PLAN LEGEND

- ELEV. No SHEET No EXTERIOR ELEVATION LABEL
- SECT. No SHEET No SECTION LABEL
- ENLGD. No SHEET No ENLARGED PLAN LABEL
- 4" / 6" PARTITION WALL TYPICAL - REFER TO ENLARGED PLANS FOR SPECIFIC CONSTRUCTION
8" REINFORCED CONCRETE MASONRY UNIT (CMU) WALL CONSTRUCTION - 2 HOUR RATED
- WINDOW DESIGNATION. SEE WINDOW SCHEDULE
- DOOR DESIGNATION. SEE DOOR SCHEDULE

NOTE *: ALL FINISH FLOOR ELEVATIONS ON PLANS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988

**WILTON YARDS
TOWNHOMES**
2700 NE 9TH AVENUE
WILTON MANORS, FLORIDA 33334

REVISIONS

No.	Description

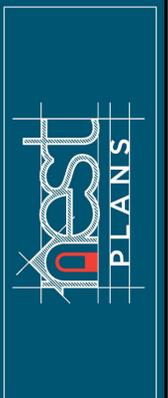
Job No: NEST - 2153
Date: 12/21/2022
Drawn by: SAR/SG
Checked by: SG

DRC SUBMITTAL

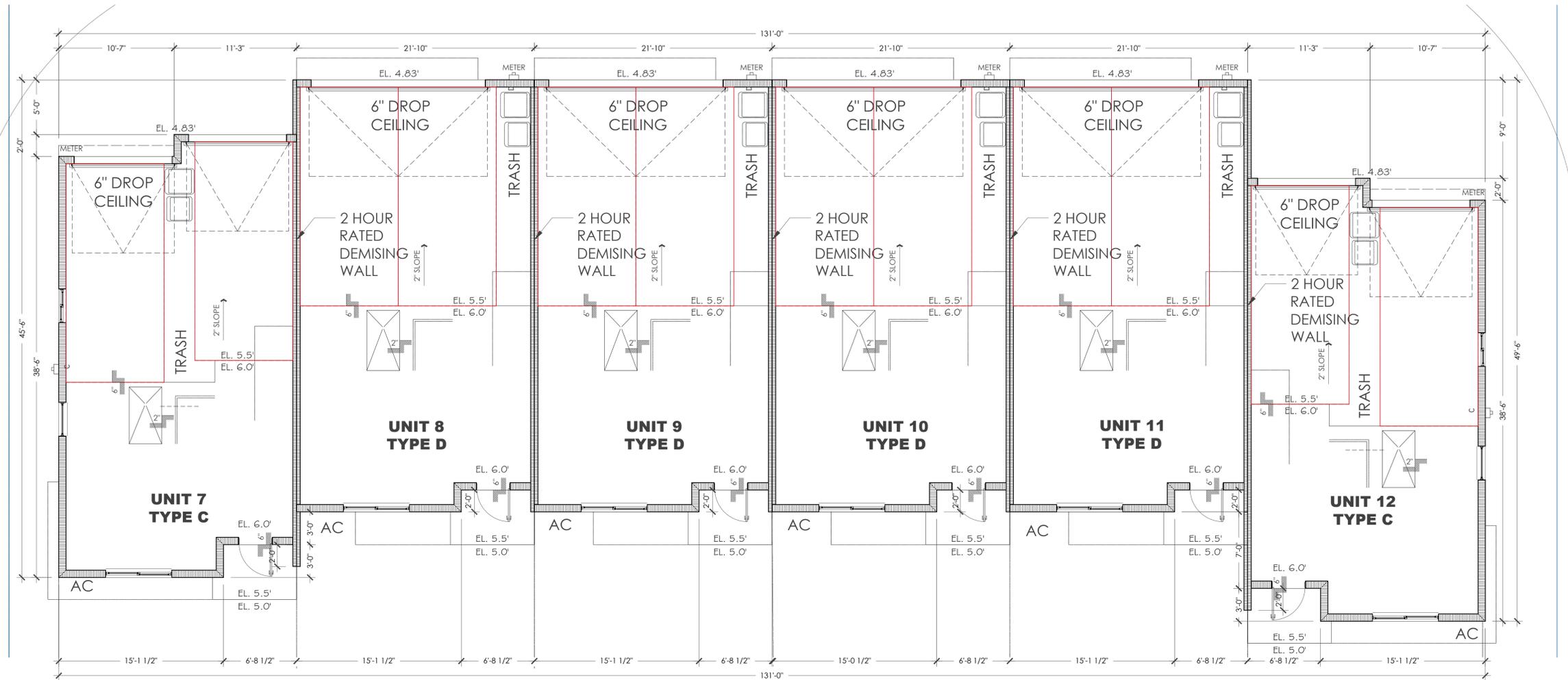
Drawing No.
A-104

STEVEN GAYNAIR
AR102524

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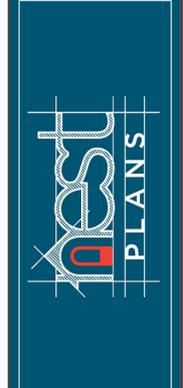
1 FIRST FLOOR - BUILDING 2 **N**
 A105 scale: 3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES	AREAS	LOCATION DIAGRAM	FLOOR PLAN LEGEND																																																
<ol style="list-style-type: none"> ALL NEW WALLS TO BE TAPED, SPACKLED AND SANDED SMOOTH, READY TO RECEIVE NEW FINISH. ALL INTERIOR PARTITIONS TO BE 3-5/8" MTL STUDS @ 16" O.C., U.O.N. DIMENSIONS SHALL BE FIGURED, DO NOT SCALE DRAWINGS. IN THE EVENT OF CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY THE ARCHITECT, THE BETTER QUALITY OF GREATER QUANTITY OF WORK SHALL BE PROVIDED IN ACCORDANCE WITH THE ARCHITECT'S INTERPRETATION. DO NOT MECHANICALLY SECURE OR BRACE NEW PARTITIONS TO EXISTING WINDOW MULLIONS, WINDOW SILLS, DUCTWORK, CONDUITS, OR PIPING. CORNER BEADS ARE TO BE INSTALLED ON ALL CORNERS AND TO BE SPACKLED SMOOTH WITH ADJACENT AREA. STUDS SIZE SHALL BE PER MANUFACTURER SPECIFICATION FOR HEIGHT, GAUGE AND SPACING UNLESS OTHERWISE NOTED. DOUBLE STUDS ARE REQUIRED @ BOTH JAMBS OF DOOR FRAME AND HEADER. STUDS AT DOOR JAMBS AND ON TOPS OF DOOR FRAMES MUST BE SCREWED TO RUNNERS AT TOP, BOTTOMS AND BOTH SIDES. ALL GLAZING AT SHOWERS AND TUB ENCLOSURES TO BE TEMPERED, SAFETY GLASS. EMERGENCY EGRESS WINDOW OR DOOR SHALL BE OPERABLE FROM THE INSIDE WITH-OUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT AND 5.7 S.F. IN AREA. <p>NOTES:</p> <ul style="list-style-type: none"> Entry doors should be solid, impact resistant or metal. Residential units entry doors should be equipped with a quality secondary deadbolt locking system and have a 180 degree peephole or view port for security. Garage doors should be impact resistant. Sliding glass doors and sliding glass windows should be equipped with burglary deterrent features such as track blocks, door pins or deadbolts. The door should also provide features to prevent the doors from being lifted off track. All glazing should be impact resistant. Units should be pre-wired for an alarm system. 	<table border="1"> <tr> <td>7 (TYPE C)</td> <td>385 SQ. FT.</td> </tr> <tr> <td>FIRST FLOOR (AC)</td> <td>27 SQ. FT.</td> </tr> <tr> <td>GARAGE</td> <td>459 SQ. FT.</td> </tr> <tr> <td>TOTAL:</td> <td>871 SQ. FT.</td> </tr> <tr> <td>8 (TYPE D)</td> <td>400 SQ. FT.</td> </tr> <tr> <td>FIRST FLOOR (AC)</td> <td>32 SQ. FT.</td> </tr> <tr> <td>GARAGE</td> <td>451 SQ. FT.</td> </tr> <tr> <td>TOTAL:</td> <td>883 SQ. FT.</td> </tr> <tr> <td>9 (TYPE D)</td> <td>400 SQ. FT.</td> </tr> <tr> <td>FIRST FLOOR (AC)</td> <td>32 SQ. FT.</td> </tr> <tr> <td>GARAGE</td> <td>451 SQ. FT.</td> </tr> <tr> <td>TOTAL:</td> <td>883 SQ. FT.</td> </tr> <tr> <td>10 (TYPE D)</td> <td>400 SQ. FT.</td> </tr> <tr> <td>FIRST FLOOR (AC)</td> <td>32 SQ. FT.</td> </tr> <tr> <td>GARAGE</td> <td>451 SQ. FT.</td> </tr> <tr> <td>TOTAL:</td> <td>883 SQ. FT.</td> </tr> <tr> <td>11 (TYPE D)</td> <td>400 SQ. FT.</td> </tr> <tr> <td>FIRST FLOOR (AC)</td> <td>32 SQ. FT.</td> </tr> <tr> <td>GARAGE</td> <td>451 SQ. FT.</td> </tr> <tr> <td>TOTAL:</td> <td>883 SQ. FT.</td> </tr> <tr> <td>12 (TYPE C)</td> <td>385 SQ. FT.</td> </tr> <tr> <td>FIRST FLOOR (AC)</td> <td>27 SQ. FT.</td> </tr> <tr> <td>GARAGE</td> <td>459 SQ. FT.</td> </tr> <tr> <td>TOTAL:</td> <td>871 SQ. FT.</td> </tr> </table> <p>FIRST FLOOR BLDG. 2 TOTAL: 5274 SQ. FT.</p>	7 (TYPE C)	385 SQ. FT.	FIRST FLOOR (AC)	27 SQ. FT.	GARAGE	459 SQ. FT.	TOTAL:	871 SQ. FT.	8 (TYPE D)	400 SQ. FT.	FIRST FLOOR (AC)	32 SQ. FT.	GARAGE	451 SQ. FT.	TOTAL:	883 SQ. FT.	9 (TYPE D)	400 SQ. FT.	FIRST FLOOR (AC)	32 SQ. FT.	GARAGE	451 SQ. FT.	TOTAL:	883 SQ. FT.	10 (TYPE D)	400 SQ. FT.	FIRST FLOOR (AC)	32 SQ. FT.	GARAGE	451 SQ. FT.	TOTAL:	883 SQ. FT.	11 (TYPE D)	400 SQ. FT.	FIRST FLOOR (AC)	32 SQ. FT.	GARAGE	451 SQ. FT.	TOTAL:	883 SQ. FT.	12 (TYPE C)	385 SQ. FT.	FIRST FLOOR (AC)	27 SQ. FT.	GARAGE	459 SQ. FT.	TOTAL:	871 SQ. FT.		<ul style="list-style-type: none"> ELEV. No SHEET No EXTERIOR ELEVATION LABEL SECT. No SHEET No SECTION LABEL ENLGD. No SHEET No ENLARGED PLAN LABEL 4" / 6" PARTITION WALL TYPICAL - REFER TO ENLARGED PLANS FOR SPECIFIC CONSTRUCTION 8" REINFORCED CONCRETE MASONRY UNIT (CMU) WALL CONSTRUCTION - 2 HOUR RATED WINDOW DESIGNATION, SEE WINDOW SCHEDULE DOOR DESIGNATION, SEE DOOR SCHEDULE
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2 LOCATION DIAGRAM **N**
 A105 scale: NTC

NOTE *: ALL FINISH FLOOR ELEVATIONS ON PLANS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988

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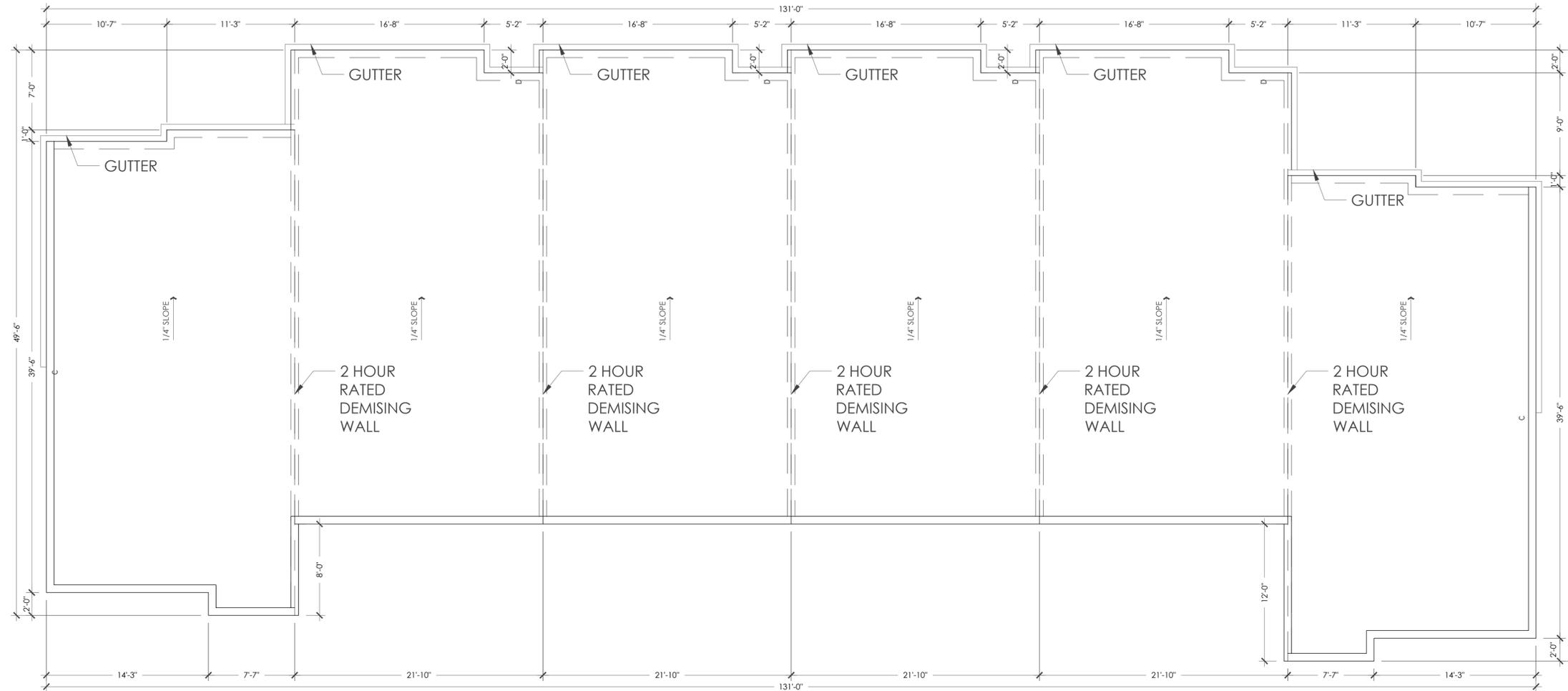
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 2700 NE 9TH AVENUE
 WILTON MANORS, FLORIDA 33334

REVISIONS

Job No: NEST - 2163
 Date: 8/23/2023
 Drawn by: SAR/SG
 Checked by: SG

P & Z SUBMITTAL

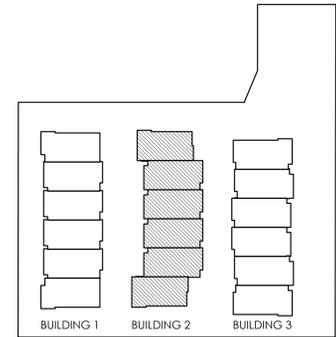
Drawing No.
A-105



1 ROOF - BUILDING 2
A108 scale: 3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES LOCATION DIAGRAM FLOOR PLAN LEGEND

- ALL NEW WALLS TO BE TAPED, SPACKLED AND SANDED SMOOTH, READY TO RECEIVE NEW FINISH.
 - ALL INTERIOR PARTITIONS TO BE 3-5/8" MTL STUDS @ 16" O.C., U.O.N.
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 - DO NOT MECHANICALLY SECURE OR BRACE NEW PARTITIONS TO EXISTING WINDOW MULLIONS, WINDOW SILLS, DUCTWORK, CONDUITS, OR PIPING.
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 - STUDS AT DOOR JAMBS AND ON TOPS OF DOOR FRAMES MUST BE SCREWED TO RUNNERS AT TOP, BOTTOMS AND BOTH SIDES.
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 - All glazing should be impact resistant.
 - Units should be pre-wired for an alarm system.



2 LOCATION DIAGRAM
A108 scale: NTC

- ELEV. No SHEET No EXTERIOR ELEVATION LABEL
- SECT. No SHEET No SECTION LABEL
- ENLGD. No SHEET No ENLARGED PLAN LABEL
- 4" / 6" PARTITION WALL TYPICAL - REFER TO ENLARGED PLANS FOR SPECIFIC CONSTRUCTION
8" REINFORCED CONCRETE MASONRY UNIT (CMU) WALL CONSTRUCTION - 2 HOUR RATED
- WINDOW DESIGNATION. SEE WINDOW SCHEDULE
- DOOR DESIGNATION. SEE DOOR SCHEDULE

NOTE *: ALL FINISH FLOOR ELEVATIONS ON PLANS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988

STEVEN GAYNAIR
AR102524

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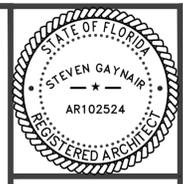
WILTON YARDS TOWNHOMES
2700 NE 9TH AVENUE
WILTON MANORS, FLORIDA 33334

REVISIONS

Job No: NEST - 2153
Date: 12/21/2022
Drawn by: SAR/SG
Checked by: SG

DRC SUBMITTAL

Drawing No.
A-108



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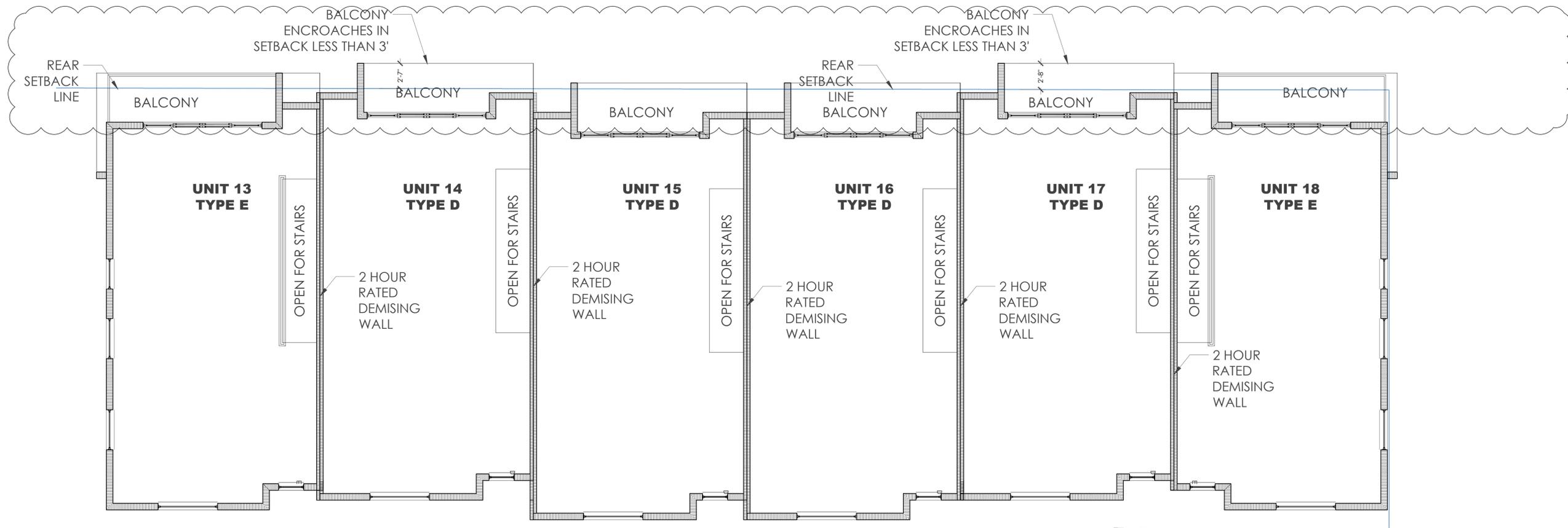
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2700 NE 9TH AVENUE
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REVISIONS	DRC COMMENTS

Job No: NEST - 2153
Date: 1/9/2023
Drawn by: SAR/SG
Checked by: SG

DRC SUBMITTAL

Drawing No.
A-110

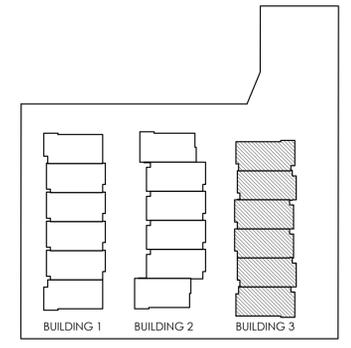


1 SECOND FLOOR - BUILDING 3 N
A110 scale: 3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES	AREAS	LOCATION DIAGRAM	FLOOR PLAN LEGEND
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- ALL NEW WALLS TO BE TAPED, SPACKLED AND SANDED SMOOTH, READY TO RECEIVE NEW FINISH.
 - ALL INTERIOR PARTITIONS TO BE 3-5/8" MTL STUDS @ 16" O.C., U.O.N.
 - DIMENSIONS SHALL BE FIGURED. DO NOT SCALE DRAWINGS. IN THE EVENT OF CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY THE ARCHITECT, THE BETTER QUALITY OF GREATER QUANTITY OF WORK SHALL BE PROVIDED IN ACCORDANCE WITH THE ARCHITECT'S INTERPRETATION.
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 - DOUBLE STUDS ARE REQUIRED @ BOTH JAMBS OF DOOR FRAME AND HEADER.
 - STUDS AT DOOR JAMBS AND ON TOPS OF DOOR FRAMES MUST BE SCREWED TO RUNNERS AT TOP, BOTTOMS AND BOTH SIDES.
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 - All glazing should be impact resistant.
 - Units should be pre-wired for an alarm system.

13 (TYPE E)	14 (TYPE D)	15 (TYPE D)	16 (TYPE D)	17 (TYPE D)	18 (TYPE E)
SECOND FLOOR (AC)	818 SQ. FT.				
SECOND FLOOR BALCONY	64 SQ. FT.				
TOTAL:	882 SQ. FT.				
SECOND FLOOR BLDG. 3 TOTAL: 5292 SQ. FT.					



2 LOCATION DIAGRAM N
A110 scale: NTC

- ELEV. No SHEET No EXTERIOR ELEVATION LABEL
- SECT. No SHEET No SECTION LABEL
- ENLGD. No SHEET No ENLARGED PLAN LABEL
- 4" / 6" PARTITION WALL TYPICAL - REFER TO ENLARGED PLANS FOR SPECIFIC CONSTRUCTION
- 8" REINFORCED CONCRETE MASONRY UNIT (CMU) WALL CONSTRUCTION - 2 HOUR RATED
- WINDOW DESIGNATION. SEE WINDOW SCHEDULE
- DOOR DESIGNATION. SEE DOOR SCHEDULE

NOTE *: ALL FINISH FLOOR ELEVATIONS ON PLANS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988

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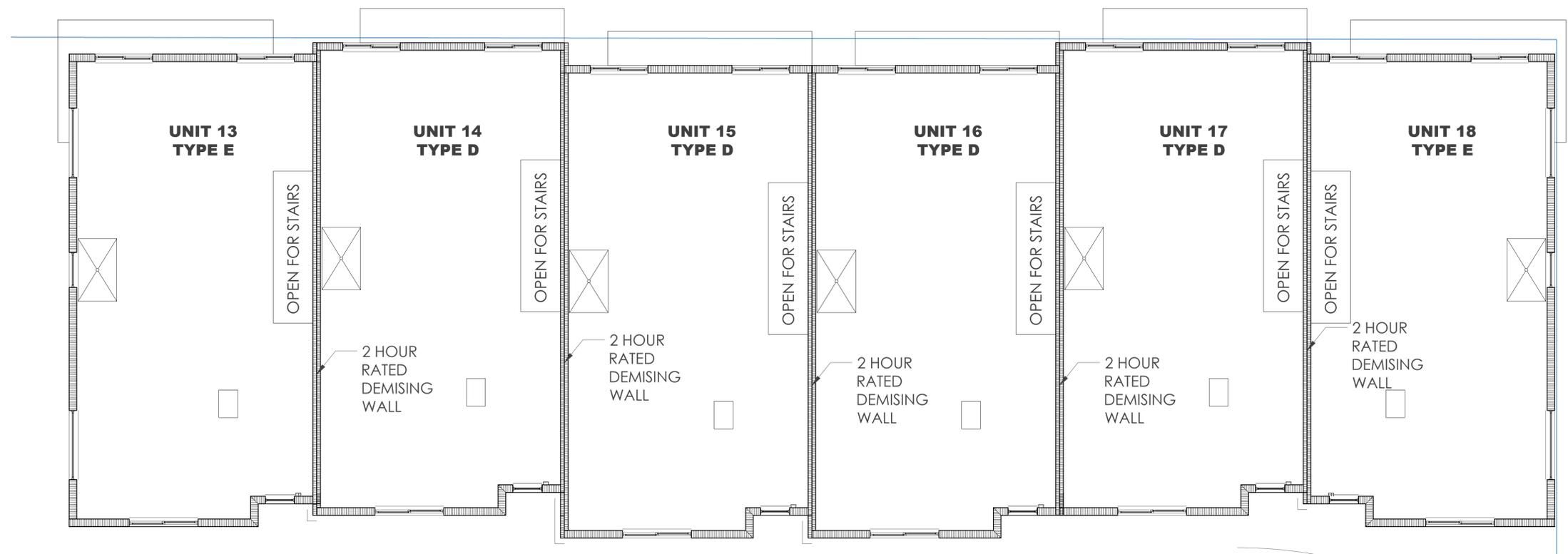
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2700 NE 9TH AVENUE
WILTON MANORS, FLORIDA 33334

REVISIONS

Job No: NEST - 2153
Date: 12/21/2022
Drawn by: SAR/SG
Checked by: SG

DRG SUBMITTAL
Drawing No. **A-111**



1 THIRD FLOOR - BUILDING 3 N
scale: 3/16" = 1'-0"

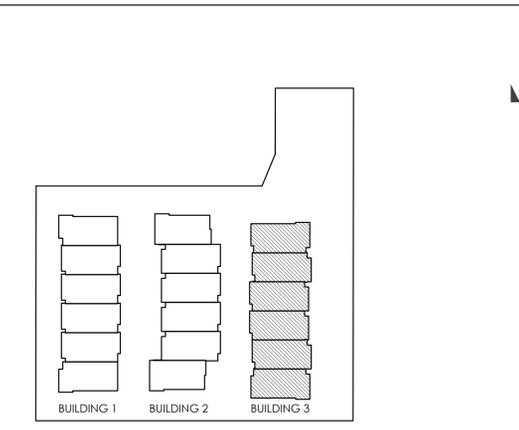
FLOOR PLAN GENERAL NOTES

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AREAS

13 (TYPE E)	847 SQ. FT.
THIRD FLOOR (AC)	0 SQ. FT.
THIRD FLOOR BALCONY	0 SQ. FT.
TOTAL:	847 SQ. FT.
14 (TYPE D)	847 SQ. FT.
THIRD FLOOR (AC)	0 SQ. FT.
THIRD FLOOR BALCONY	0 SQ. FT.
TOTAL:	847 SQ. FT.
15 (TYPE D)	847 SQ. FT.
THIRD FLOOR (AC)	0 SQ. FT.
THIRD FLOOR BALCONY	0 SQ. FT.
TOTAL:	847 SQ. FT.
16 (TYPE D)	847 SQ. FT.
THIRD FLOOR (AC)	0 SQ. FT.
THIRD FLOOR BALCONY	0 SQ. FT.
TOTAL:	847 SQ. FT.
17 (TYPE D)	847 SQ. FT.
THIRD FLOOR (AC)	0 SQ. FT.
THIRD FLOOR BALCONY	0 SQ. FT.
TOTAL:	847 SQ. FT.
18 (TYPE E)	847 SQ. FT.
THIRD FLOOR (AC)	0 SQ. FT.
THIRD FLOOR BALCONY	0 SQ. FT.
TOTAL:	847 SQ. FT.
THIRD FLOOR BLDG. 3 TOTAL:	5082 SQ. FT.

LOCATION DIAGRAM



2 LOCATION DIAGRAM N
scale: NTC

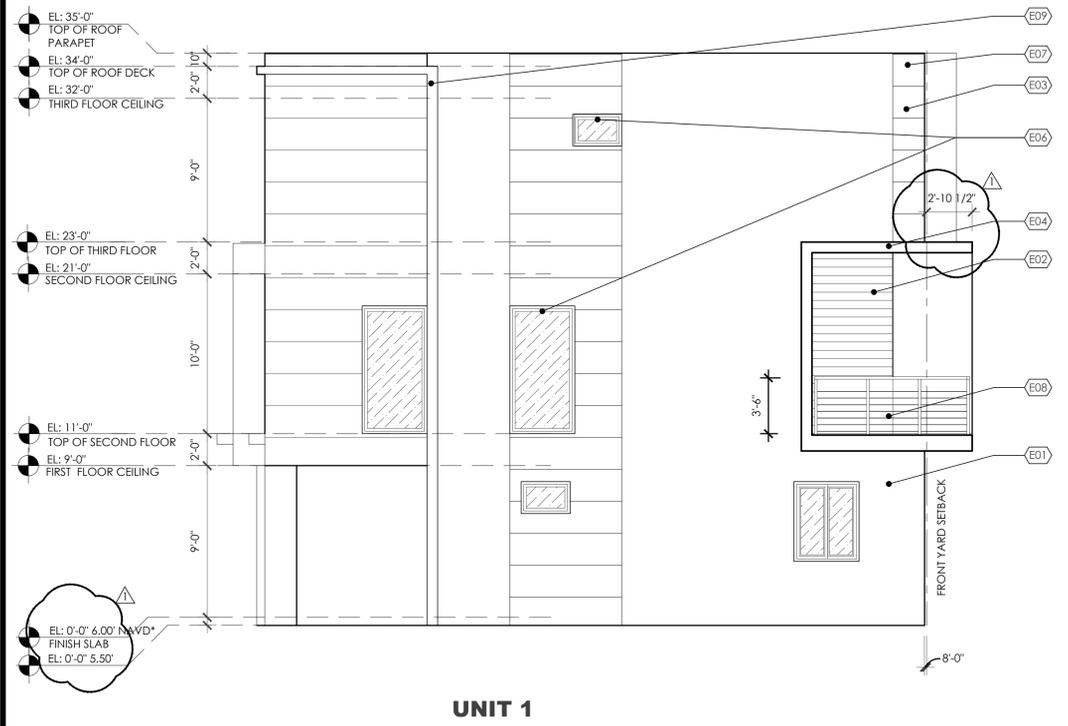
FLOOR PLAN LEGEND

- ELEV. No SHEET No EXTERIOR ELEVATION LABEL
- SECT. No SHEET No SECTION LABEL
- ENLGD. No SHEET No ENLARGED PLAN LABEL
- 4" / 6" PARTITION WALL TYPICAL - REFER TO ENLARGED PLANS FOR SPECIFIC CONSTRUCTION
8" REINFORCED CONCRETE MASONRY UNIT (CMU) WALL CONSTRUCTION - 2 HOUR RATED
- WINDOW DESIGNATION. SEE WINDOW SCHEDULE
- DOOR DESIGNATION. SEE DOOR SCHEDULE

NOTE *: ALL FINISH FLOOR ELEVATIONS ON PLANS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988



1 BUILDING 1 WEST ELEVATION
 A201 scale: 3/16" = 1'-0"

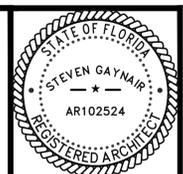


1 BUILDING 1 NORTH ELEVATION
 A201 scale: 3/16" = 1'-0"

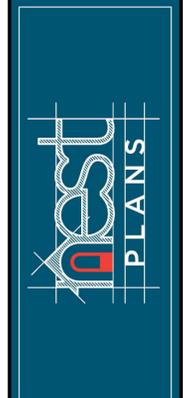
NOTE*
FINISH FLOOR ELEVATION BASED ON BROWARD COUNTY FUTURE FLOOD MAP 2060 BFE - 6'

ELEVATIONS KEY NOTES

- E01 PAINTED, STUCCO FINISH SMOOTH. COLOR - SW 7004 - SNOW BOUND
- E02 PAINTED, STUCCO FINISH WITH SCORE PATTERN. CONTRACTOR TO COORDINATE COLOR SELECTION WITH OWNER
- E03 PAINTED, STUCCO FINISH WITH SCORE PATTERN. CONTRACTOR TO COORDINATE COLOR SELECTION WITH OWNER
- E04 PAINTED, STUCCO FINISH SMOOTH. COLOR - SW 7004 - SNOW BOUND
- E05 FLAT PANEL GARAGE DOOR - COLOR - "SIMULATED WOOD"
- E06 WINDOW/ DOOR DESIGNATION - REFER TO WINDOW AND DOOR SCHEDULE FOR ADDITIONAL INFORMATION - COLOR BRONZE
- E07 PARAPET WALLS
- E08 ALUMINUM RAILING - CONTRACTOR TO PROVIDE SHOP DRAWINGS - COLOR - BLACK
- E09 METAL GUTTER AND DOWNSPOUT - COLOR BRONZE
- E10
- E11



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REVISIONS	DRC COMMENTS
1	08/27/23

Job No: NEST - 2153
 Date: 1/9/2023
 Drawn by: SAR/SG
 Checked by: SG

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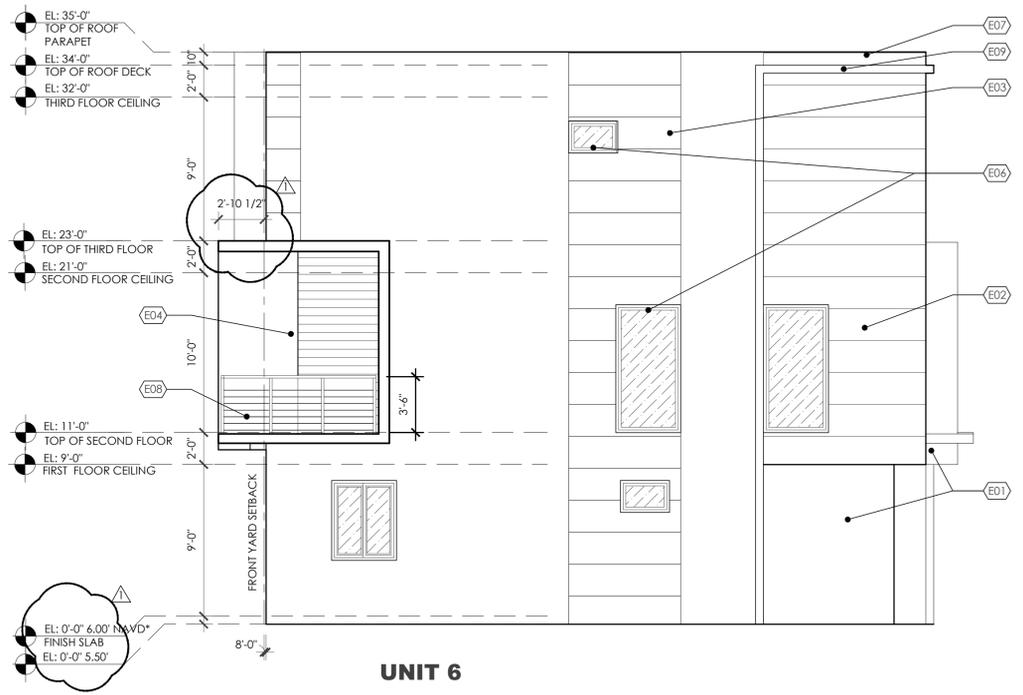
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NOTE*
FINISH FLOOR ELEVATION BASED ON BROWARD COUNTY FUTURE FLOOD MAP 2060
BFE - 6'

ELEVATIONS KEY NOTES	
(E01)	PAINTED, STUCCO FINISH SMOOTH. COLOR - SW 7004 - SNOW BOUND
(E02)	PAINTED, STUCCO FINISH WITH SCORE PATTERN. CONTRACTOR TO COORDINATE COLOR SELECTION WITH OWNER
(E03)	PAINTED, STUCCO FINISH WITH SCORE PATTERN. CONTRACTOR TO COORDINATE COLOR SELECTION WITH OWNER
(E04)	PAINTED, STUCCO FINISH SMOOTH. COLOR - SW 7004 - SNOW BOUND
(E05)	FLAT PANEL GARAGE DOOR - COLOR - "SIMULATED WOOD"
(E06)	WINDOW / DOOR DESIGNATION - REFER TO WINDOW AND DOOR SCHEDULE FOR ADDITIONAL INFORMATION - COLOR BRONZE
(E07)	PARAPET WALLS
(E08)	ALUMINUM RAILING - CONTRACTOR TO PROVIDE SHOP DRAWINGS - COLOR - BLACK
(E09)	METAL GUTTER AND DOWNSPOUT - COLOR BRONZE

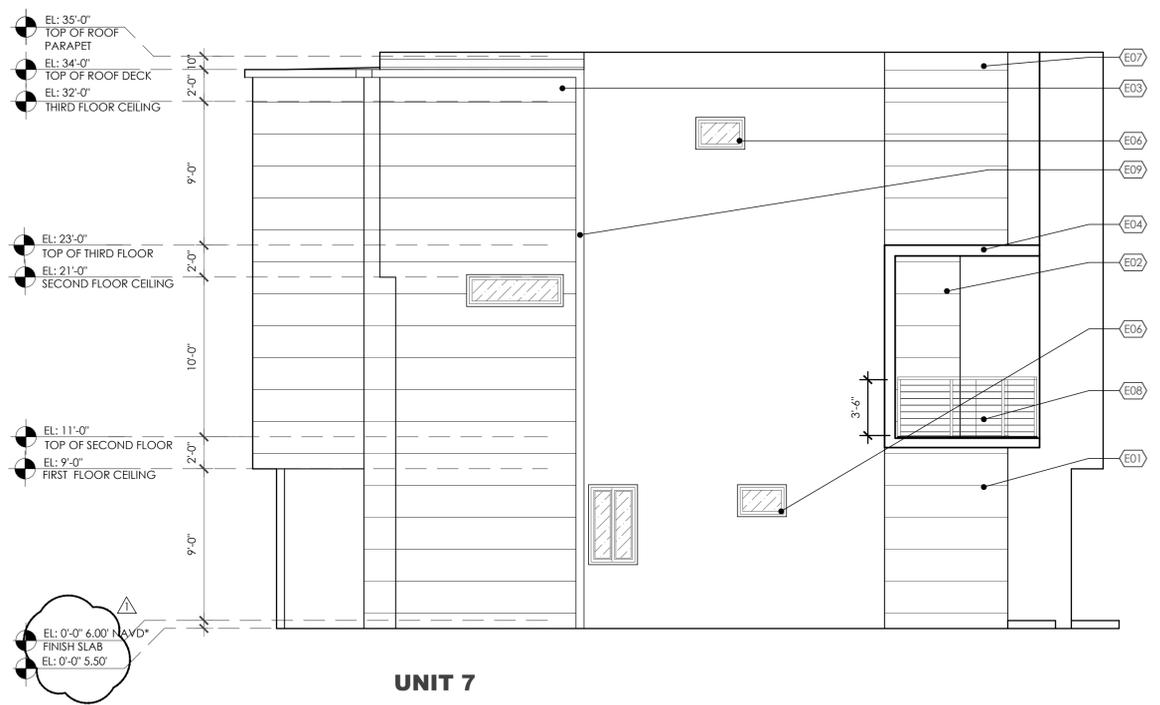
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Job No: NEST - 2153
Date: 1/9/2023
Drawn by: SAR/SG
Checked by: SG

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Drawing No. A-202



1 BUILDING 2 WEST ELEVATION
 scale: 3/16" = 1'-0"



2 BUILDING 2 NORTH ELEVATION
 scale: 3/16" = 1'-0"

NOTE*
FINISH FLOOR ELEVATION BASED ON BROWARD COUNTY FUTURE FLOOD MAP 2060 BFE - 6'

ELEVATIONS KEY NOTES

- (E01) PAINTED, STUCCO FINISH SMOOTH. COLOR - SW 7004 - SNOW BOUND
- (E02) PAINTED, STUCCO FINISH WITH SCORE PATTERN. CONTRACTOR TO COORDINATE COLOR SELECTION WITH OWNER
- (E03) PAINTED, STUCCO FINISH WITH SCORE PATTERN. CONTRACTOR TO COORDINATE COLOR SELECTION WITH OWNER
- (E04) PAINTED, STUCCO FINISH SMOOTH. COLOR - SW 7004 - SNOW BOUND
- (E05) FLAT PANEL GARAGE DOOR - COLOR - "SIMULATED WOOD"
- (E06) WINDOW/ DOOR DESIGNATION - REFER TO WINDOW AND DOOR SCHEDULE FOR ADDITIONAL INFORMATION - COLOR BRONZE
- (E07) PARAPET WALLS
- (E08) ALUMINUM RAILING - CONTRACTOR TO PROVIDE SHOP DRAWINGS - COLOR - BLACK
- (E09) METAL GUTTER AND DOWNSPOUT - COLOR BRONZE



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REVISIONS	DRC COMMENTS

Job No: NEST - 2153
 Date: 1/9/2023
 Drawn by: SAR/SG
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Drawing No.

A-203

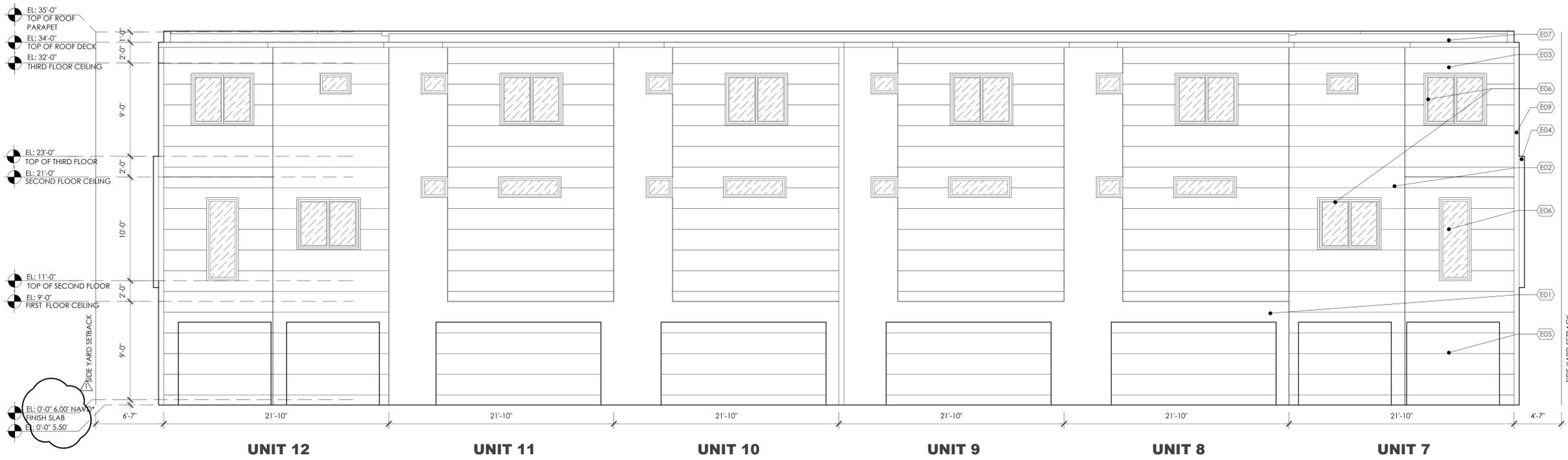


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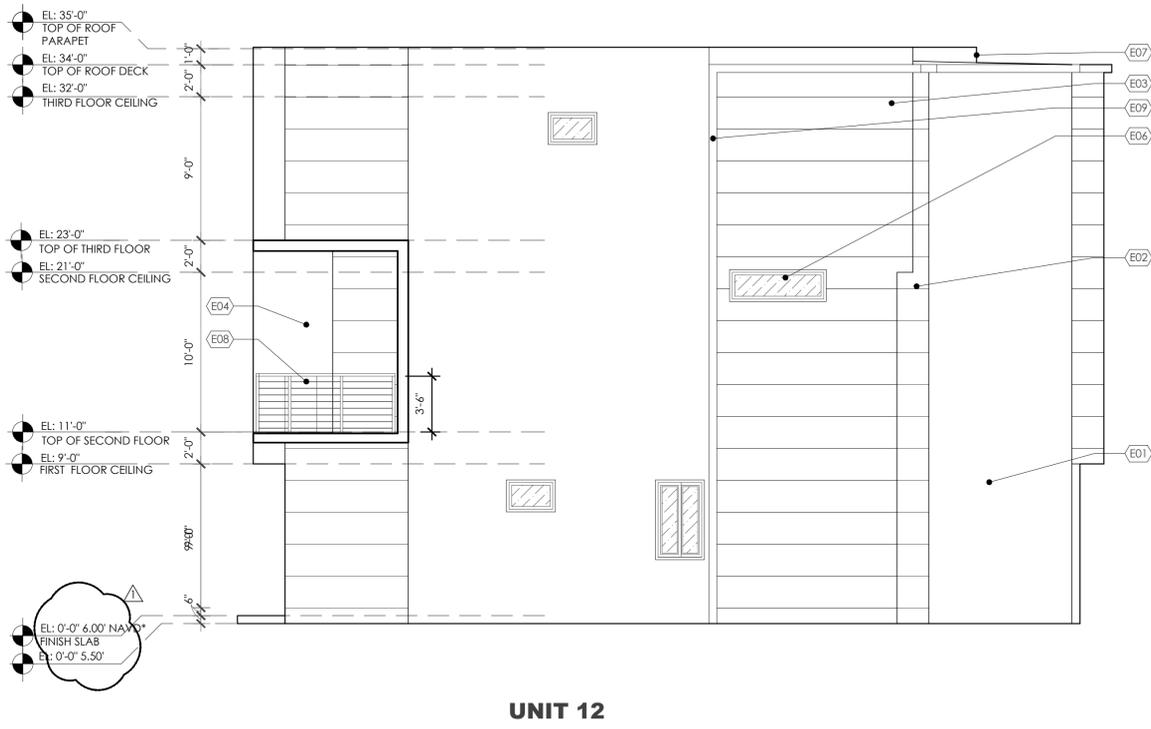


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1 **BUILDING 2 EAST ELEVATION**
 A204 scale: 3/16" = 1'-0"



2 **BUILDING 2 SOUTH ELEVATION**
 A204 scale: 3/16" = 1'-0"

NOTE*
 FINISH FLOOR ELEVATION BASED ON BROWARD COUNTY FUTURE FLOOD MAP 2060
 BFE - 6'

ELEVATIONS KEY NOTES

- (E01) PAINTED, STUCCO FINISH SMOOTH. COLOR - SW 7004 - SNOW BOUND
- (E02) PAINTED, STUCCO FINISH WITH SCORE PATTERN. CONTRACTOR TO COORDINATE COLOR SELECTION WITH OWNER
- (E03) PAINTED, STUCCO FINISH WITH SCORE PATTERN. CONTRACTOR TO COORDINATE COLOR SELECTION WITH OWNER
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- (E07) PARAPET WALLS
- (E08) ALUMINUM RAILING - CONTRACTOR TO PROVIDE SHOP DRAWINGS - COLOR - BLACK
- (E09) METAL GUTTER AND DOWNSPOUT - COLOR BRONZE

REVISIONS	DESCRIPTION
1	08/27/23

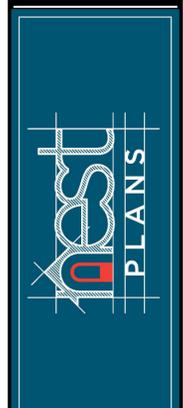
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 Checked by: SG

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Drawing No.
A-204

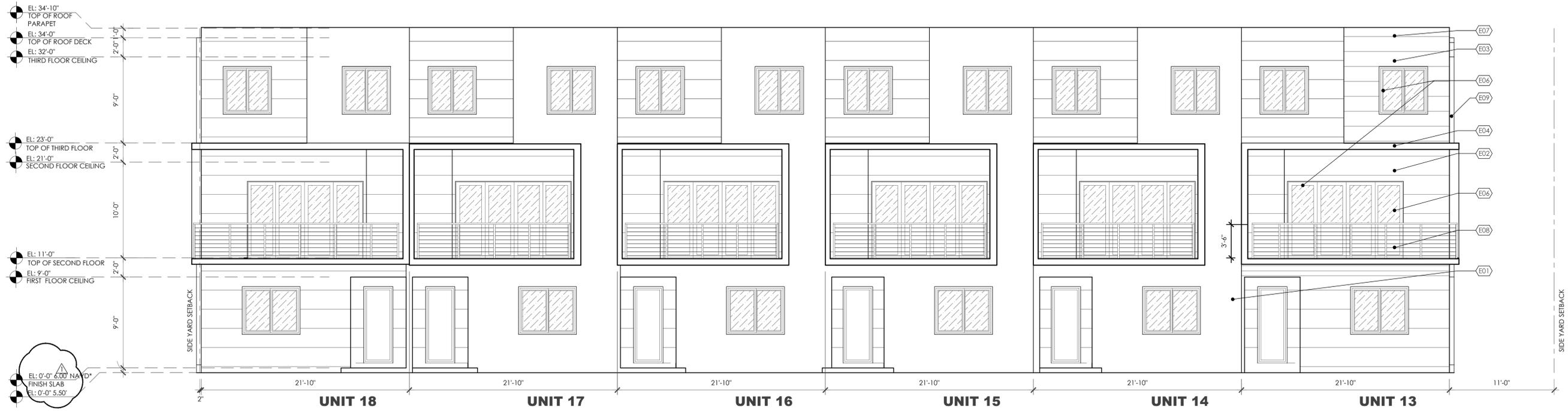


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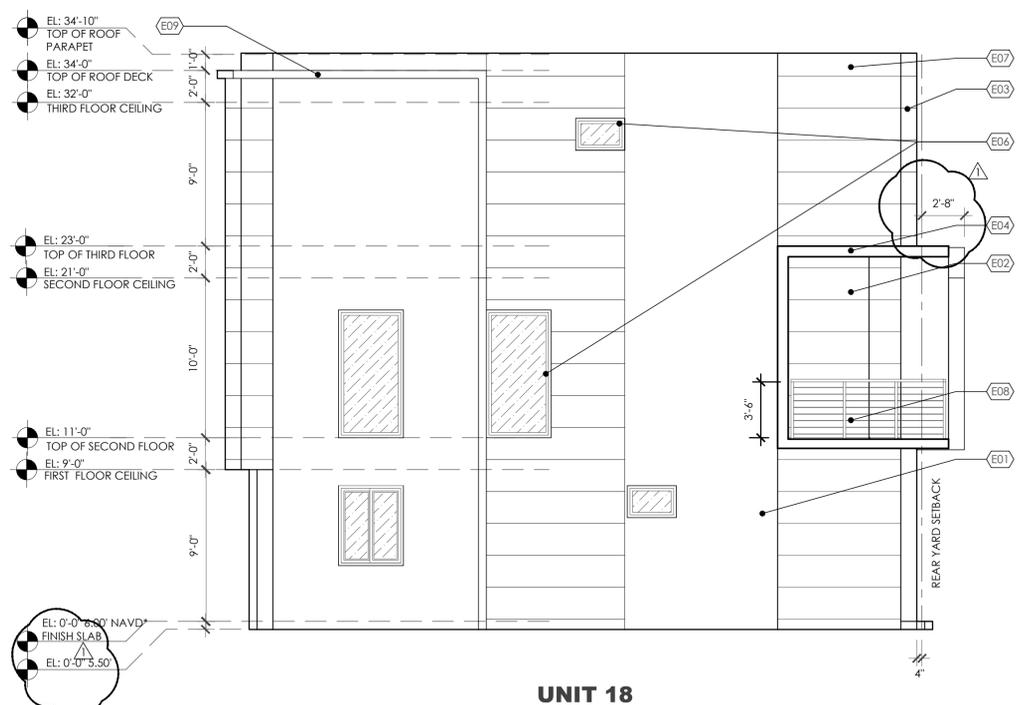


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1 BUILDING 3 EAST ELEVATION
 A206 scale: 3/16" = 1'-0"



2 BUILDING 3 SOUTH ELEVATION
 A206 scale: 3/16" = 1'-0"

NOTE*
 FINISH FLOOR ELEVATION BASED
 ON BROWARD COUNTY FUTURE
 FLOOD MAP 2060
 BFE - 6'

ELEVATIONS KEY NOTES

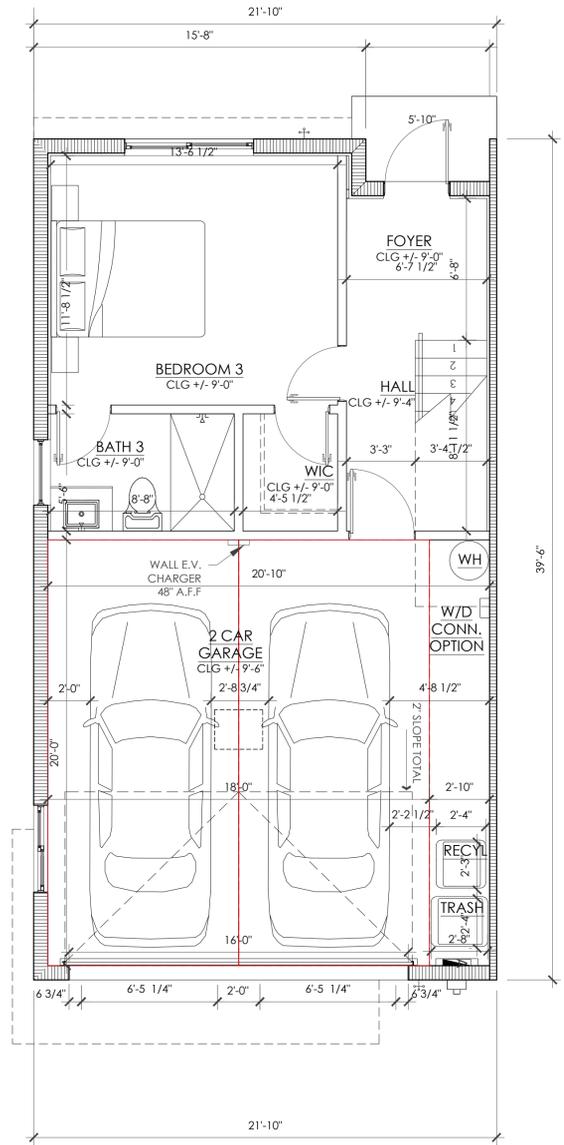
- (E01) PAINTED, STUCCO FINISH SMOOTH. COLOR - SW 7004 - SNOW BOUND
- (E02) PAINTED, STUCCO FINISH WITH SCORE PATTERN. CONTRACTOR TO COORDINATE COLOR SELECTION WITH OWNER
- (E03) PAINTED, STUCCO FINISH WITH SCORE PATTERN. CONTRACTOR TO COORDINATE COLOR SELECTION WITH OWNER
- (E04) PAINTED, STUCCO FINISH SMOOTH. COLOR - SW 7004 - SNOW BOUND
- (E05) FLAT PANEL GARAGE DOOR - COLOR - "SIMULATED WOOD"
- (E06) WINDOW/ DOOR DESIGNATION - REFER TO WINDOW AND DOOR SCHEDULE FOR ADDITIONAL INFORMATION - COLOR BRONZE
- (E07) PARAPET WALLS
- (E08) ALUMINUM RAILING - CONTRACTOR TO PROVIDE SHOP DRAWINGS - COLOR - BLACK
- (E09) METAL GUTTER AND DOWNSPOUT - COLOR BRONZE

REVISIONS	DRC COMMENTS

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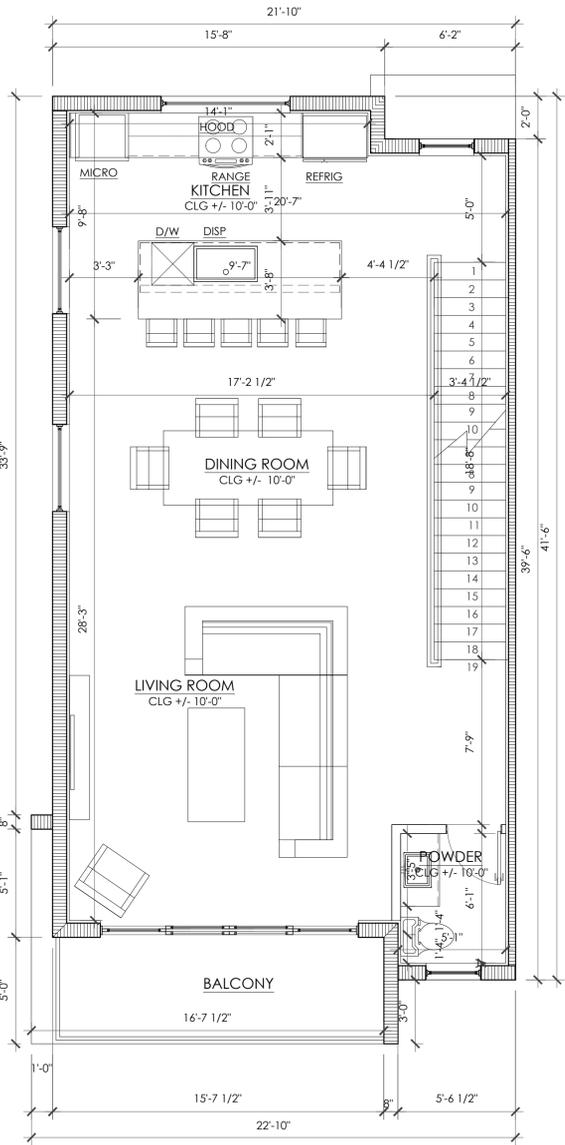
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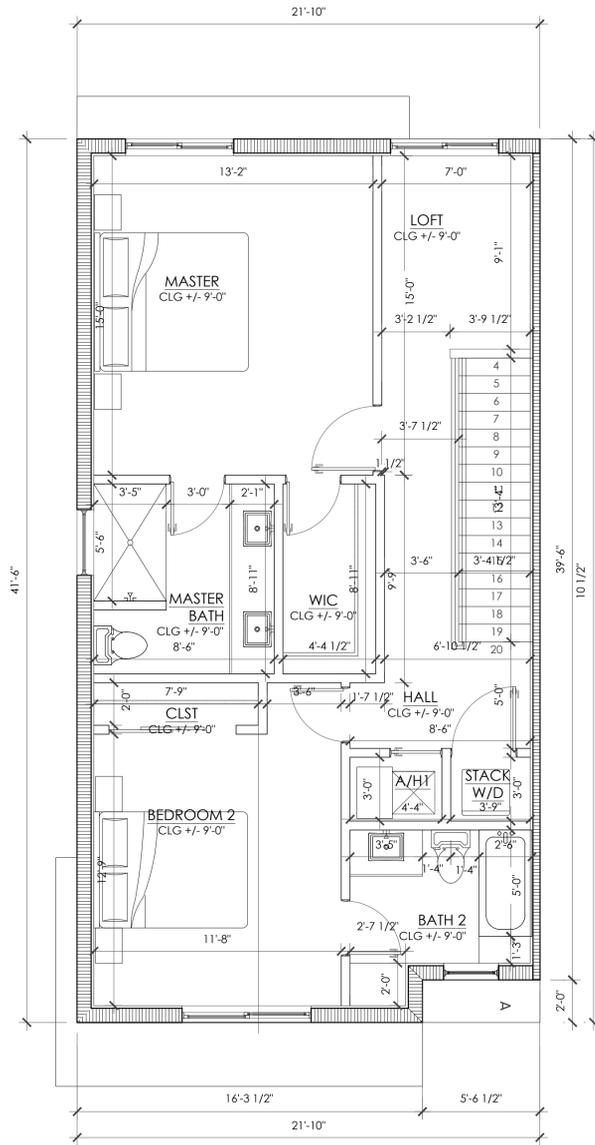


NOTE: WIDTH OF CADILLAC XT6 IS 77.3" WIDE.
 16' GARAGE DOOR ALLOWS FOR (2) CADILLAC XT6 SIDE BY
 SIDE WITH CLEARANCE OF 37.4" TOTAL

1 **FIRST FLOOR PLAN -**
 A.401 scale: 1/4" = 1'-0" **A UNIT AND MIRROR**



2 **SECOND FLOOR PLAN -**
 A.401 scale: 1/4" = 1'-0" **A UNIT AND MIRROR**



3 **THIRD FLOOR PLAN -**
 A.401 scale: 1/4" = 1'-0" **A UNIT AND MIRROR**

AREAS	
UNIT AREA:	
FIRST FLOOR (A/C):	400 SQ. FT.
COVERED PORCH FRONT:	32 SQ. FT.
GARAGES:	451 SQ. FT.
SECOND FLOOR (A/C):	807 SQ. FT.
COVERED BALCONY:	80 SQ. FT.
THIRD FLOOR (A/C):	848 SQ. FT.
TOTAL A/C:	2,055 SQ. FT.
TOTAL AREA (UNDER ROOF):	2,618 SQ. FT.

FLOOR PLAN LEGEND	
	ROOM NAME & CEILING HEIGHT
	BUILDING SECTION
	DOOR DESIGNATION. SEE DOOR SCHEDULE
	8" CONCRETE BLOCK (CMU) WALL CONSTRUCTION
	4" / 6" PARTITION WALL TYP.
	6" STRUCTURAL WALL TYP.

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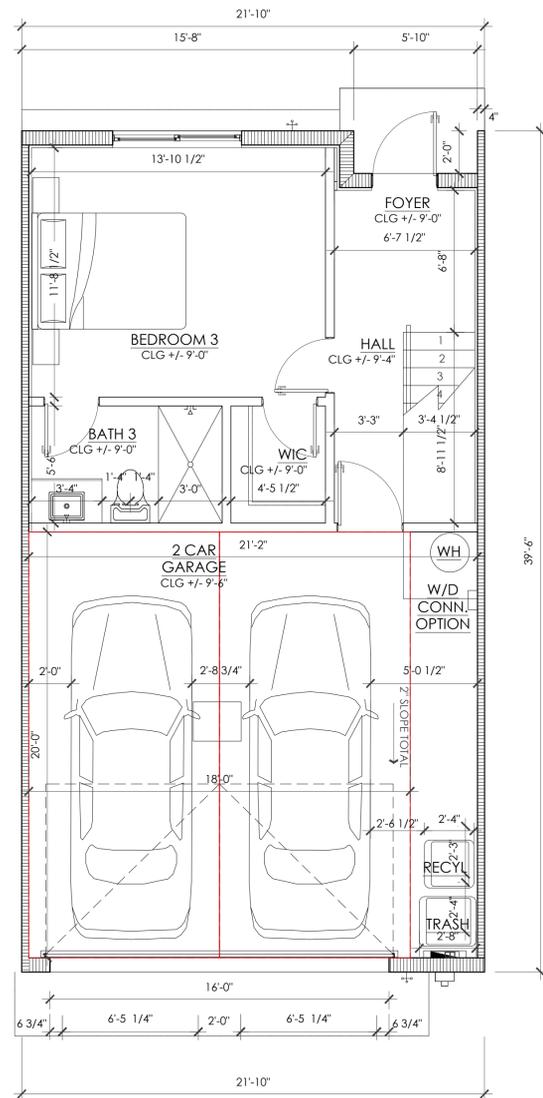
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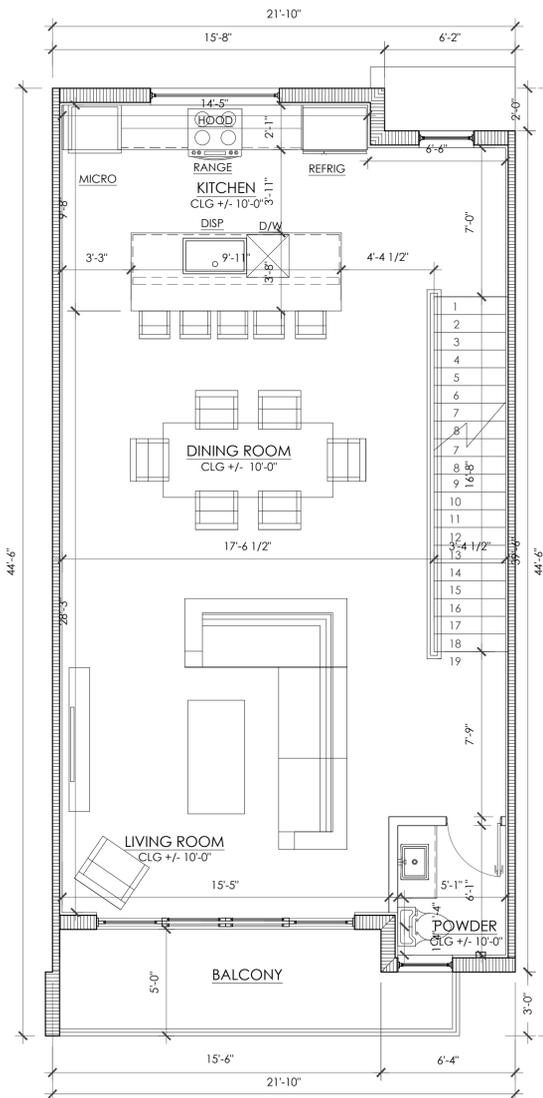
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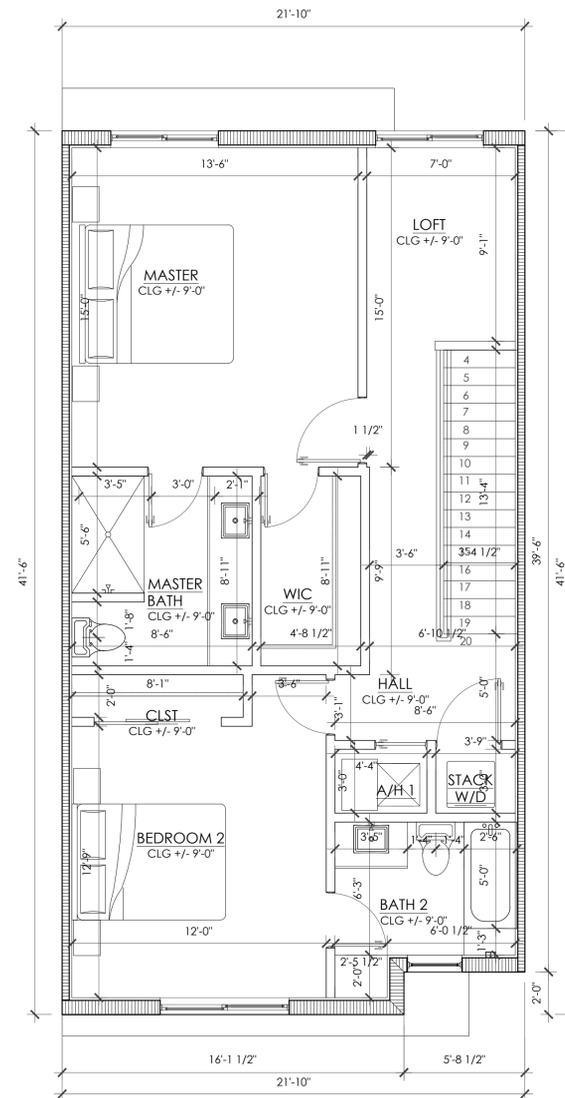
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 Drawing No. **A-401**



1 FIRST FLOOR PLAN - B UNITS
 scale: 1/4" = 1'-0"
 A402



2 SECOND FLOOR PLAN - B UNITS
 scale: 1/4" = 1'-0"
 A 402



3 THIRD FLOOR PLAN - B UNITS
 scale: 1/4" = 1'-0"
 A402

AREAS		FLOOR PLAN LEGEND	
UNIT AREA:		ROOM NAME	ROOM NAME & CEILING HEIGHT
FIRST FLOOR (A/C):	400 SQ. FT.	CLG +/- X'-X"	
COVERED PORCH FRONT:	32 SQ. FT.	SECTION No	BUILDING SECTION
GARAGES:	451 SQ. FT.	1	
SECOND FLOOR (A/C):	807 SQ. FT.	A-4	
COVERED BALCONY:	80 SQ. FT.	XXXX	DOOR DESIGNATION. SEE DOOR SCHEDULE
THIRD FLOOR (A/C):	848 SQ. FT.	[Pattern]	8" CONCRETE BLOCK (CMU) WALL CONSTRUCTION
TOTAL A/C:	2,055 SQ. FT.	[Pattern]	4" / 6" PARTITION WALL TYP.
TOTAL AREA (UNDER ROOF):	2,618 SQ. FT.	[Pattern]	6" STRUCTURAL WALL TYP.

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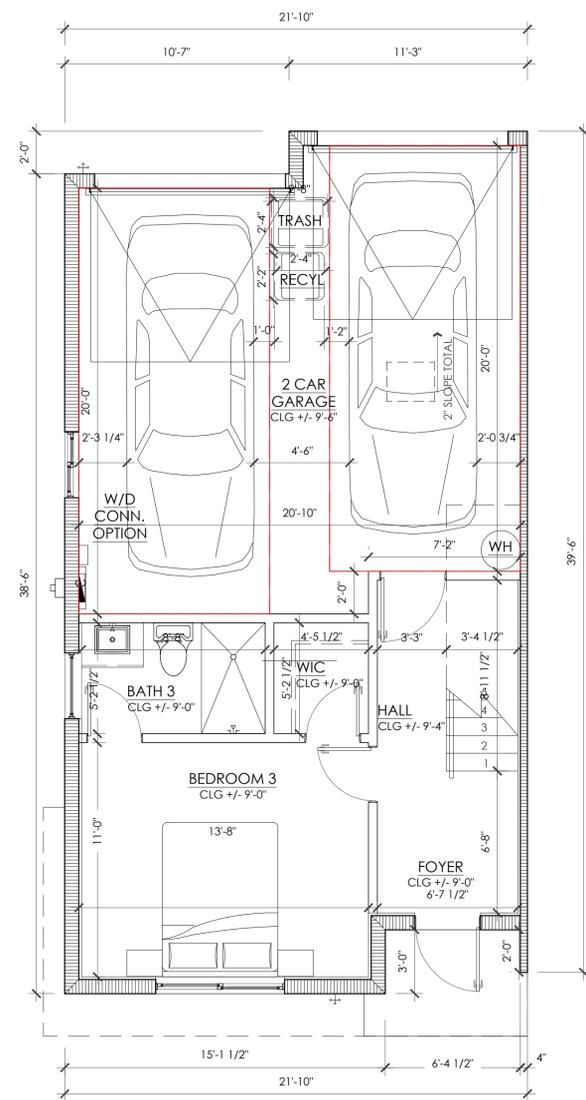
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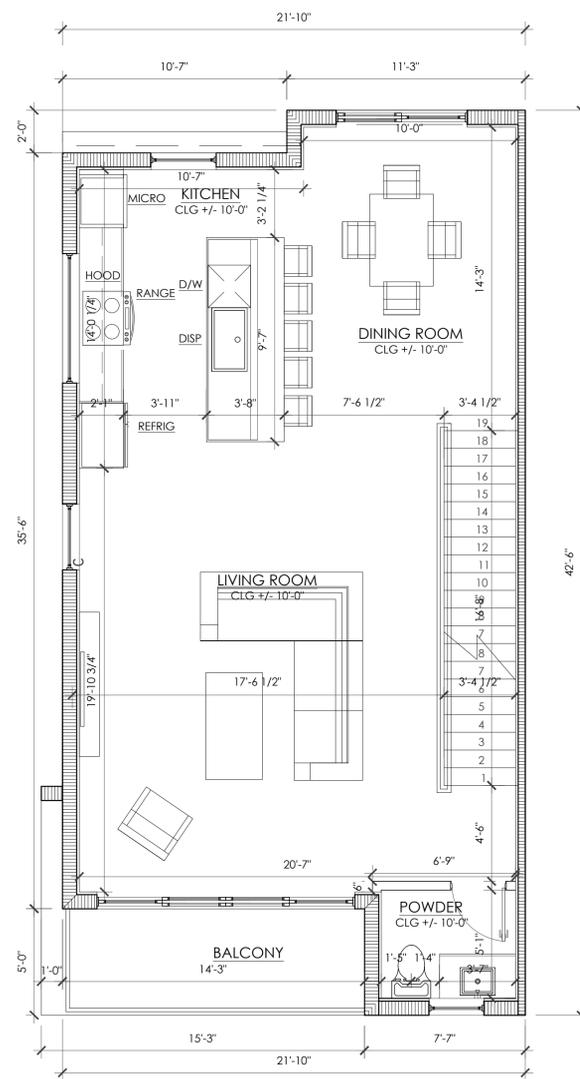
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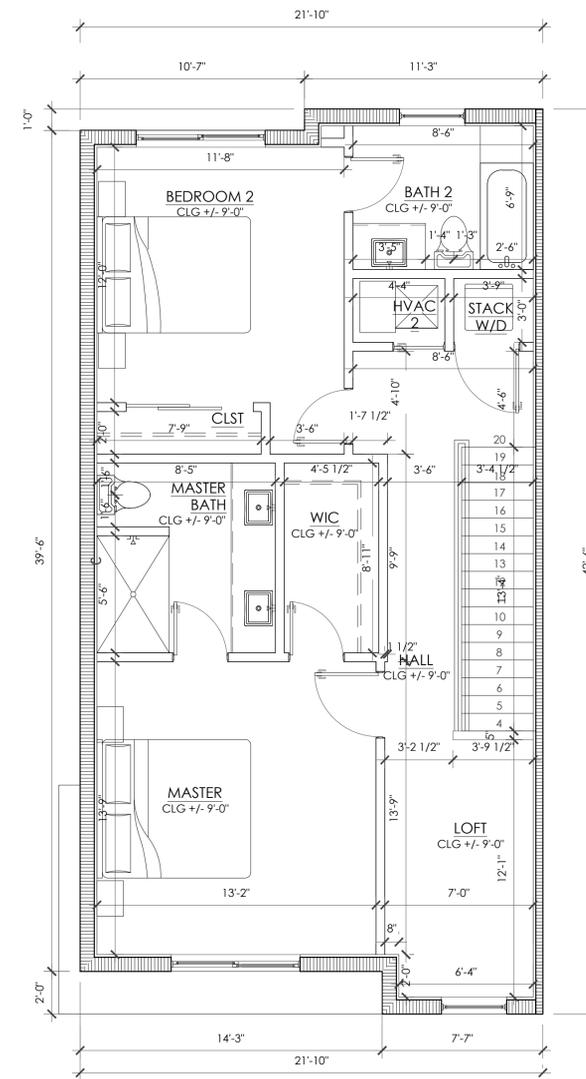
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1 FIRST FLOOR PLAN - C UNITS & MIRROR
 scale: 1/4" = 1'-0"



2 SECOND FLOOR PLAN - C UNITS & MIRROR
 scale: 1/4" = 1'-0"



3 THIRD FLOOR PLAN - C UNITS & MIRROR
 scale: 1/4" = 1'-0"

AREAS		FLOOR PLAN LEGEND	
UNIT AREA:		ROOM NAME	ROOM NAME & CEILING HEIGHT
FIRST FLOOR (A/C):	385 SQ. FT.	CLG +/- X'-X"	
COVERED PORCH FRONT:	27 SQ. FT.		SECTION No
GARAGES:	459 SQ. FT.		BUILDING SECTION
SECOND FLOOR (A/C):	781 SQ. FT.		DOOR DESIGNATION. SEE DOOR SCHEDULE
COVERED BALCONY:	71 SQ. FT.		8" CONCRETE BLOCK (CMU) WALL CONSTRUCTION
THIRD FLOOR (A/C):	842 SQ. FT.		4" / 6" PARTITION WALL TYP.
TOTAL A/C:	2,008 SQ. FT.		6" STRUCTURAL WALL TYP.
TOTAL AREA (UNDER ROOF):	2,565 SQ. FT.		

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WILTON YARDS TOWNHOMES
 2700 NE 9TH AVENUE
 WILTON MANORS, FLORIDA 33334

REVISIONS

Job No: NEST - 2153
 Date: 8/23/2023
 Drawn by: SAR/SG
 Checked by: SG

P & Z SUBMITTAL

Drawing No. **A-403**

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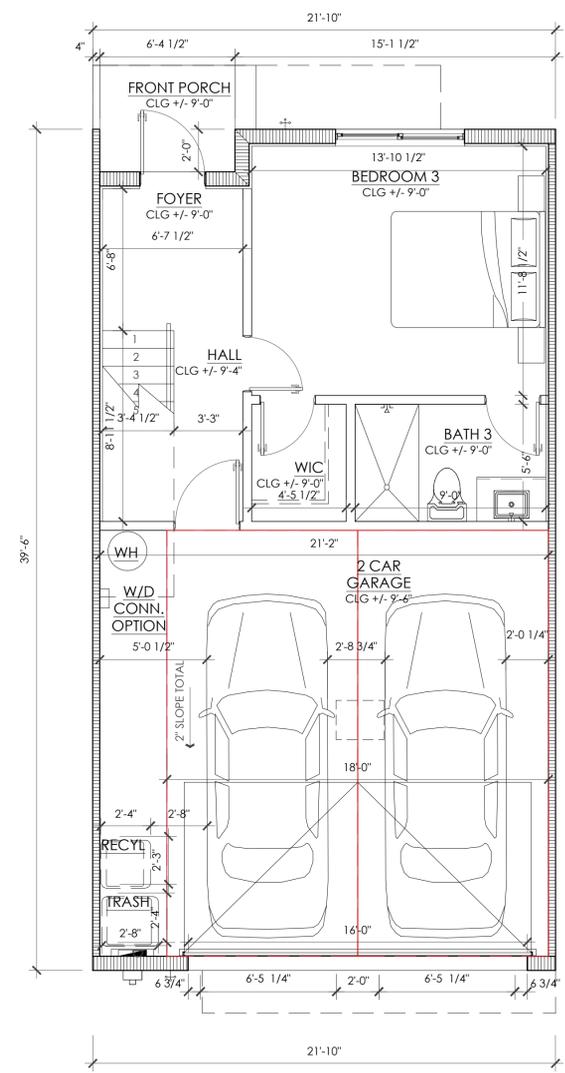
WILTON YARDS TOWNHOMES
2700 NE 9TH AVENUE
WILTON MANORS, FLORIDA 33334

REVISIONS	DATE	BY	DESCRIPTION

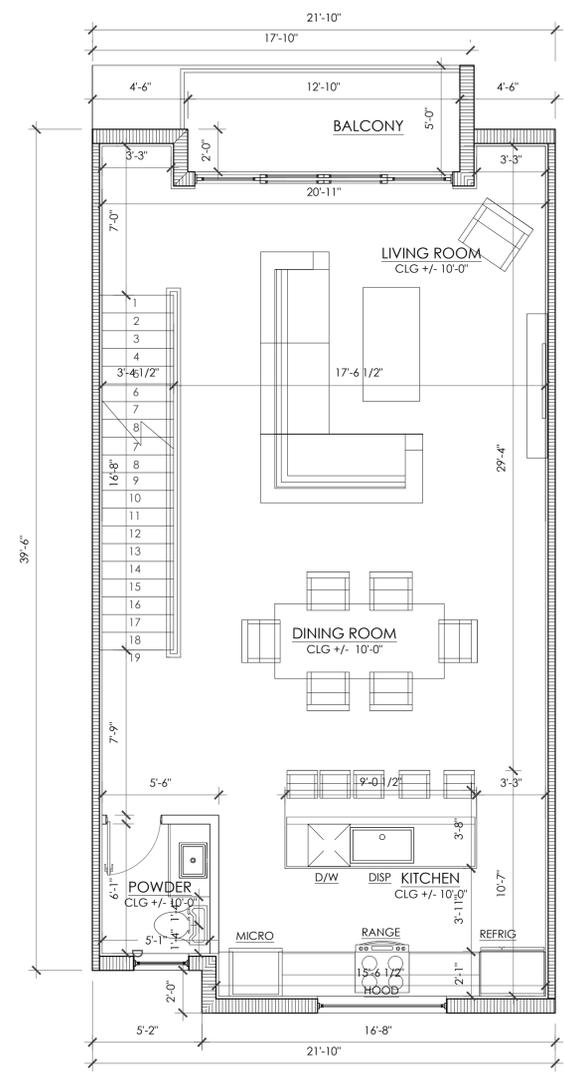
Job No: NEST - 2153
Date: 8/23/2023
Drawn by: SAR/SG
Checked by: SG

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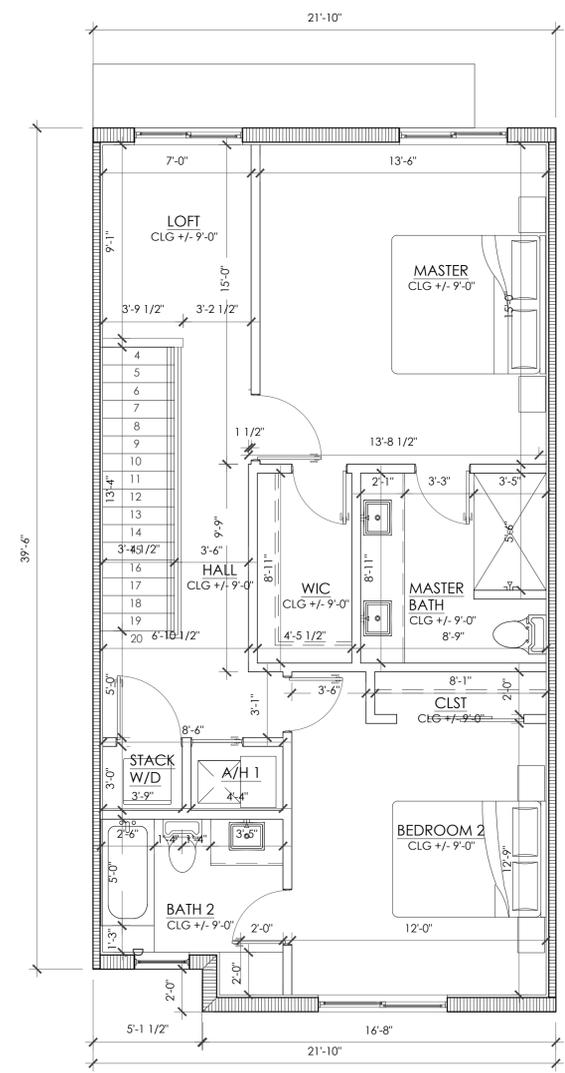
Drawing No. **A-404**



1 FIRST FLOOR PLAN - D UNITS - REVERSE
scale: 1/4" = 1'-0"



2 SECOND FLOOR PLAN - D UNITS - REVERSE
scale: 1/4" = 1'-0"



3 THIRD FLOOR PLAN - D UNITS - REVERSE
scale: 1/4" = 1'-0"

AREAS	FLOOR PLAN LEGEND
UNIT AREA: FIRST FLOOR (A/C): 400 SQ. FT. COVERED PORCH FRONT: 32 SQ. FT. GARAGES: 451 SQ. FT. SECOND FLOOR (A/C): 818 SQ. FT. COVERED BALCONY: 64 SQ. FT. THIRD FLOOR (A/C): 847 SQ. FT. TOTAL A/C: 2,065 SQ. FT. TOTAL AREA (UNDER ROOF): 2,603 SQ. FT.	ROOM NAME & CEILING HEIGHT ROOM NAME CLG +/- X'-X" SECTION No. 1 SHEET No. A-4 DOOR DESIGNATION. SEE DOOR SCHEDULE 8" CONCRETE BLOCK (CMU) WALL CONSTRUCTION 4" / 6" PARTITION WALL TYP. 6" STRUCTURAL WALL TYP.

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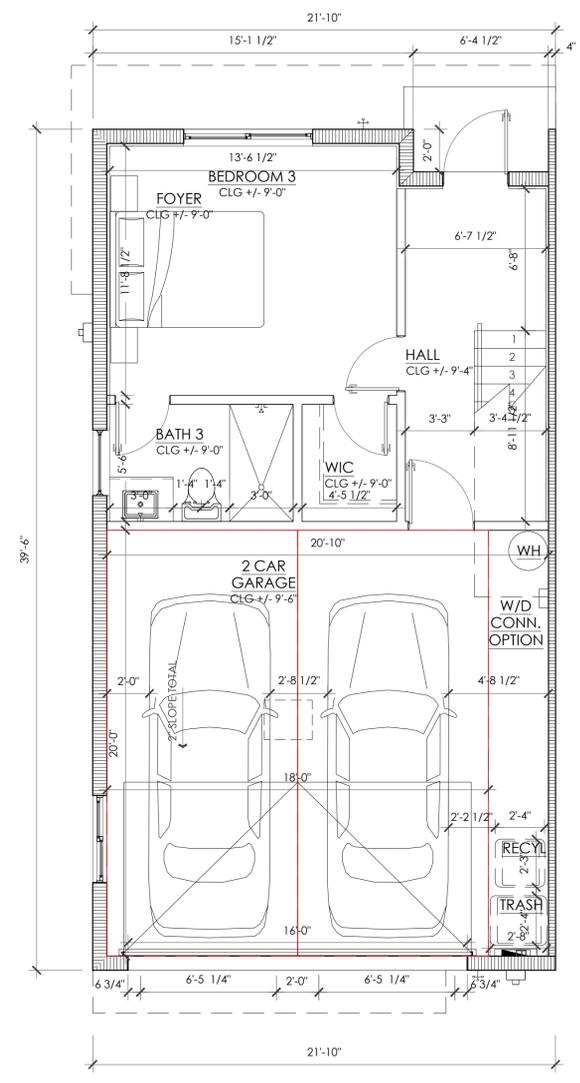
WILTON YARDS TOWNHOMES
 2700 NE 9TH AVENUE
 WILTON MANORS, FLORIDA 33334

NO.	REVISIONS

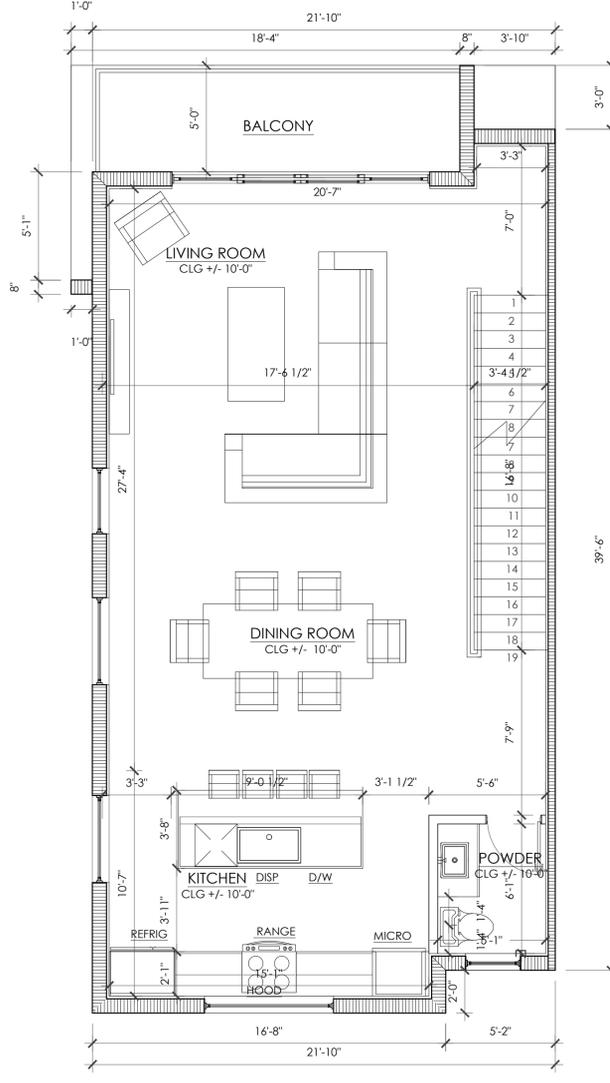
Job No: NEST - 2153
 Date: 8/23/2023
 Drawn by: SAR/SG
 Checked by: SG

P & Z SUBMITTAL

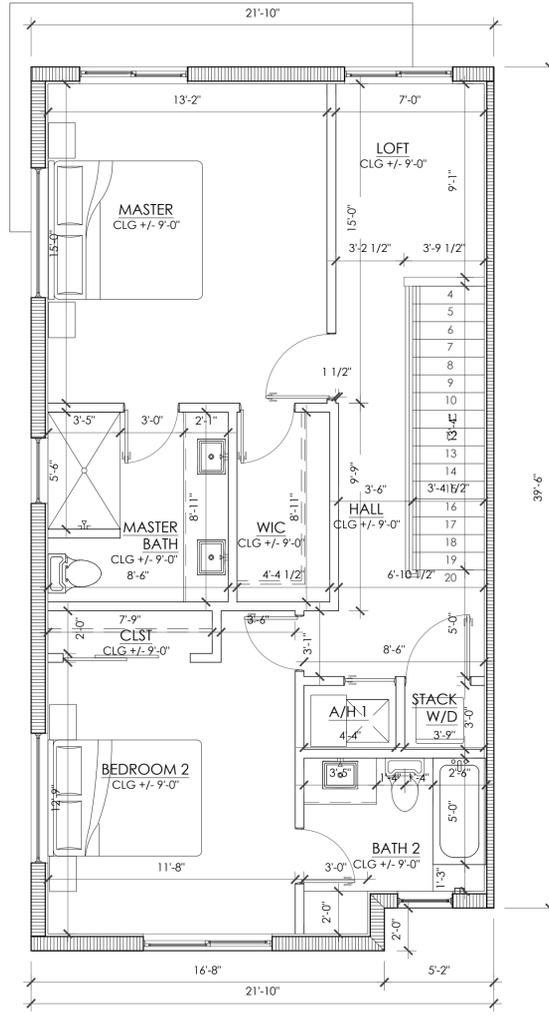
Drawing No.
A-405



1 FIRST FLOOR PLAN - E UNITS - MIRROR
 scale: 1/4" = 1'-0"



2 SECOND FLOOR PLAN - E UNITS - MIRROR
 scale: 1/4" = 1'-0"



3 THIRD FLOOR PLAN - E UNITS - MIRROR
 scale: 1/4" = 1'-0"

AREAS

UNIT AREA:	AREA
FIRST FLOOR (A/C):	400 SQ. FT.
COVERED PORCH FRONT:	32 SQ. FT.
GARAGES:	451 SQ. FT.
SECOND FLOOR (A/C):	818 SQ. FT.
COVERED BALCONY:	64 SQ. FT.
THIRD FLOOR (A/C):	847 SQ. FT.
TOTAL A/C:	2,065 SQ. FT.
TOTAL AREA (UNDER ROOF):	2,603 SQ. FT.

FLOOR PLAN LEGEND

ROOM NAME	ROOM NAME & CEILING HEIGHT
CLG +/- X'-X"	
	SECTION No
	SHEET No
	DOOR DESIGNATION. SEE DOOR SCHEDULE
	8" CONCRETE BLOCK (CMU) WALL CONSTRUCTION
	4" / 6" PARTITION WALL TYP.
	6" STRUCTURAL WALL TYP.

BUILDING OBLIQUE RENDERINGS

WILTON YARDS TOWNHOMES

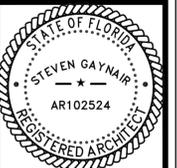
2700 NE 9TH AVENUE
WILTON MANORS, FLORIDA 33334



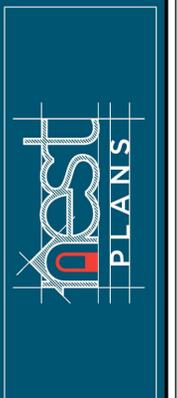
NORTH EAST VIEW



SOUTH WEST VIEW



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**WILTON YARDS
TOWNHOMES**
2700 NE 9TH AVENUE
WILTON MANORS, FLORIDA 33334

REVISIONS	DRC COMMENTS

Job No: NEST - 2153
Date: 1/9/2023
Drawn by: SAR/SG
Checked by: SG

DRC SUBMITTAL

Drawing No.

A-902

▲ COLORED RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY

BUILDING MISCELLANEOUS RENDERINGS

WILTON YARDS TOWNHOMES

2700 NE 9TH AVENUE
WILTON MANORS, FLORIDA 33334



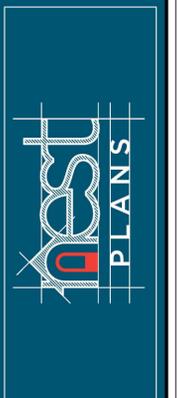
NORTH VIEW



SOUTH VIEW



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WILTON YARDS TOWNHOMES
2700 NE 9TH AVENUE
WILTON MANORS, FLORIDA 33334

REVISIONS	DATE	COMMENTS
1	08/27/23	REVISED

Job No: NEST - 2153
Date: 1/9/2023
Drawn by: SAR/SG
Checked by: SG

DRC SUBMITTAL

Drawing No.
A-903

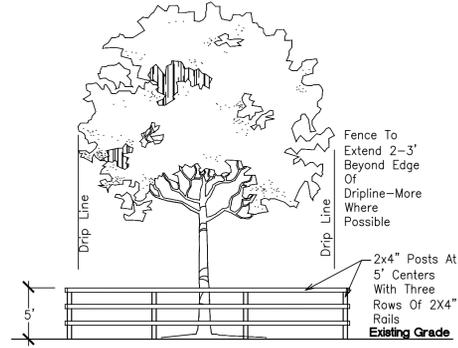
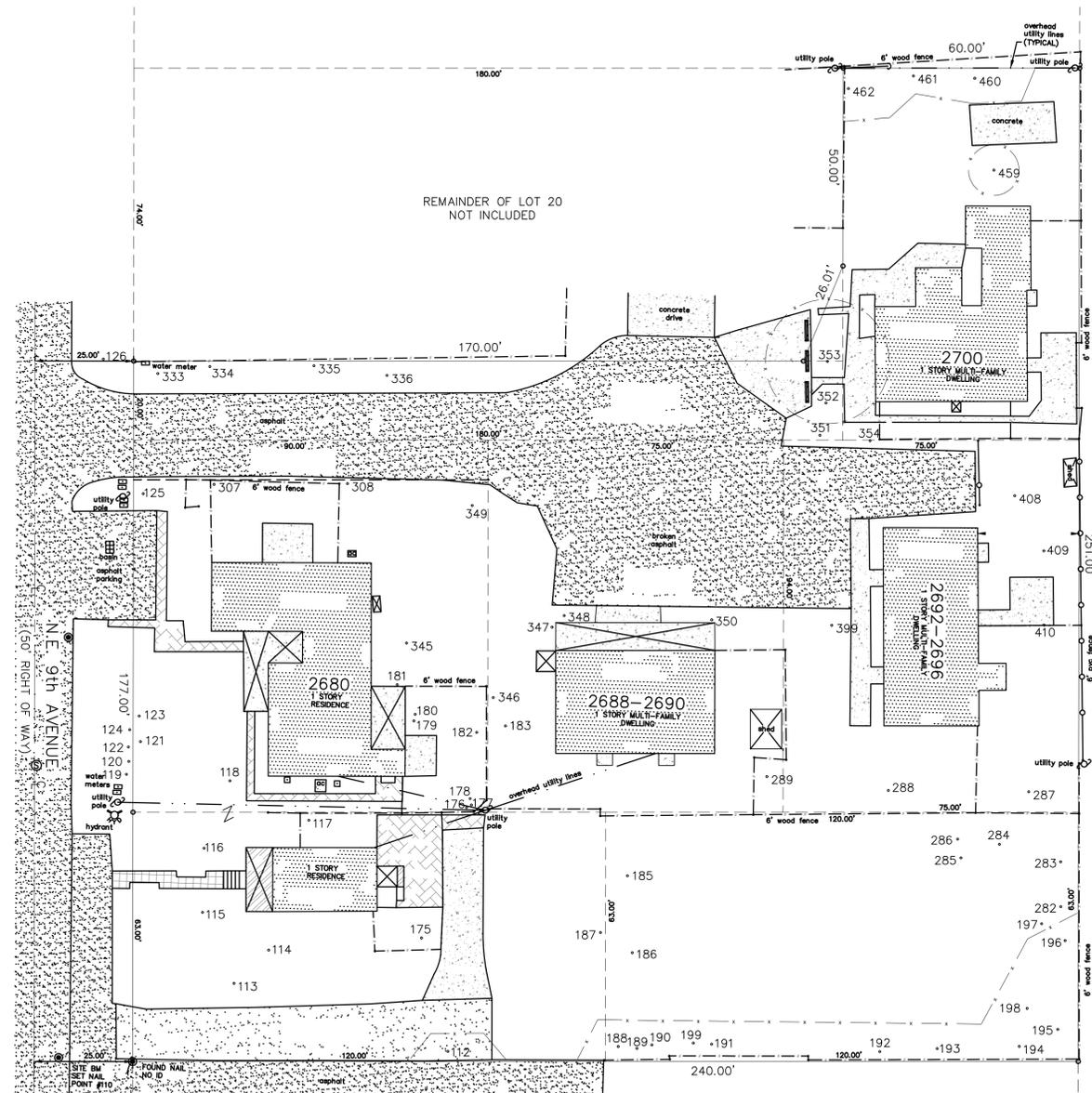
COLORED RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY

Existing Tree List

Tree #	Species (Botanical Name / Common Name)	Height (OA In Feet)	Spread (In Feet)	DBH (In Inches)	Condition	Disposition	Category	Pi	R Sq'd	Canopy SF To Be Removed	Category Pts. Removed
113	Pinus elliptii / Slash Pine	40	40	25	2-Good	Remove	1	3.14	400	1,257	300
114	Quercus virginiana / Live Oak	30	40	28	3-Average	Remove	1	3.14	400	1,257	300
118	Conocarpus erectus sericeus / Silver Buttonwood	18	10	5	3-Average	Remove	2	3.14	25	79	150
125	Leucaena leucocephala / Lead Tree	20	30	22	Invasive	Remove	0	3.14	225	707	0
185	Bucida buceras / Black Olive	40	35	20	4-Poor	Remove	1	3.14	306	962	300
186	Bucida buceras / Black Olive	40	60	28	4-Poor	Remove	1	3.14	900	2,827	300
191	Bucida buceras / Black Olive	15	15	5	4-Poor	Remain	1	3.14	56	177	0
192	Bucida buceras / Black Olive	15	15	5	4-Poor	Remain	1	3.14	56	177	0
193	Bucida buceras / Black Olive	20	8	6	4-Poor	Remain	1	3.14	16	50	0
198	Delonix regia / Royal Poinciana	30	30	10	3-Average	Remove	1	3.14	225	707	300
199	Bucida buceras / Black Olive	15	15	5	4-Poor	Remain	1	3.14	56	177	0
287	Mangifera indica / Mango	35	35	36	4-Poor	Remove	3	3.14	306	962	100
289	Ficus rubiginosa / Rusty Fig	40	50	60	4-Poor	Remove	3	3.14	625	1,963	100
307	Clerodendrum quadriloculare / Starburst	12	8	4	4-Poor	Remove	0	3.14	16	50	0
308	Cupaniopsis anacardiopsis / Carrotwood	20	20	10	Invasive	Remove	0	3.14	100	314	0
345	Jatropha integerrima / Jatropha	6	6	2	4-Poor	Remove	0	3.14	9	28	0
346	Tabebuia heterophylla / Pink Trumpet Tree	25	15	12	4-Poor	Remove	2	3.14	56	177	150
348	Schefflera actinophylla / Umbrella Tree	12	6	8	Invasive	Remove	0	3.14	9	28	0
349	Ficus rubiginosa / Rusty Fig	25	25	40	4-Poor	Remove	3	3.14	156	491	100
350	Quercus laurifolia / Laurel Oak	45	60	44	4-Poor	Remove	1	3.14	900	2,827	300
351	Quercus laurifolia / Laurel Oak	40	40	18	4-Poor	Remove	1	3.14	400	1,257	300
352	Bucida buceras / Black Olive	40	40	16	4-Poor	Remove	1	3.14	400	1,257	300
353	Bucida buceras / Black Olive	40	40	14	4-Poor	Remove	1	3.14	400	1,257	300
399	Cupaniopsis anacardiopsis / Carrotwood	12	8	4	Invasive	Remove	0	3.14	16	50	0
409	Schefflera actinophylla / Umbrella Tree	10	8	18	Invasive	Remove	0	3.14	16	50	0
459	Quercus virginiana / Live Oak	40	60	48	3-Average	Remain	1	3.14	900	2,827	0
460	Quercus virginiana / Live Oak	40	40	36	3-Average	Remain	1	3.14	400	1,257	0
462	Quercus virginiana / Live Oak	40	40	36	3-Average	Remain	1	3.14	400	1,257	0
										24,428	3300

Existing Palm List

112	Sabal palmetto / Cabbage Palm	20	10	10	2-Good	Remain	3	3.14	25	79	0
115	Phoenix canariensis / Canary Island Date Palm	20	20	16	3-Average	Remove	3	3.14	100	314	100
116	Adonidia merrillii / Christmas Palm	15	8	3	3-Average	Relocate	4	3.14	16	50	0
117	Adonidia merrillii / Christmas Palm, Dbl.	15	8	6	3-Average	Relocate	4	3.14	16	50	0
119	Adonidia merrillii / Christmas Palm	12	8	3	3-Average	Relocate	4	3.14	16	50	0
120	Adonidia merrillii / Christmas Palm	12	8	3	3-Average	Relocate	4	3.14	16	50	0
121	Adonidia merrillii / Christmas Palm	12	8	3	3-Average	Relocate	4	3.14	16	50	0
122	Adonidia merrillii / Christmas Palm	12	8	3	3-Average	Relocate	4	3.14	16	50	0
123	Adonidia merrillii / Christmas Palm	12	8	3	3-Average	Relocate	4	3.14	16	50	0
124	Adonidia merrillii / Christmas Palm	12	8	3	3-Average	Relocate	4	3.14	16	50	0
126	Bismarckia nobilis / Bismarck Palm	20	15	14	2-Good	Remain	3	3.14	56	177	0
175	Sabal palmetto / Cabbage Palm	20	10	10	2-Good	Remove	3	3.14	25	79	100
176	Adonidia merrillii / Christmas Palm	20	8	3	3-Average	Relocate	4	3.14	16	50	0
177	Adonidia merrillii / Christmas Palm	20	8	3	3-Average	Relocate	4	3.14	16	50	0
178	Adonidia merrillii / Christmas Palm	20	8	3	3-Average	Relocate	4	3.14	16	50	0
179	Adonidia merrillii / Christmas Palm	20	8	3	3-Average	Relocate	4	3.14	16	50	0
180	Adonidia merrillii / Christmas Palm	20	8	3	3-Average	Relocate	4	3.14	16	50	0
181	Caryota mitis / Fishtail Palm	12	6	6	4-Poor	Remove	4	3.14	9	28	50
182	Adonidia merrillii / Christmas Palm	20	8	3	3-Average	Relocate	4	3.14	16	50	0
183	Adonidia merrillii / Christmas Palm	20	8	3	3-Average	Relocate	4	3.14	16	50	0
187	Dypsis lutescens / Areca Palm	12	6	9	3-Average	Remove	4	3.14	9	28	50
188	Dypsis lutescens / Areca Palm	12	6	9	3-Average	Remove	4	3.14	9	28	50
189	Dypsis lutescens / Areca Palm	12	6	9	3-Average	Remove	4	3.14	9	28	50
190	Dypsis lutescens / Areca Palm	12	6	9	3-Average	Remove	4	3.14	9	28	50
194	Dypsis lutescens / Areca Palm	12	6	9	3-Average	Remain	4	3.14	9	28	0
195	Dypsis lutescens / Areca Palm	12	6	9	3-Average	Remain	4	3.14	9	28	0
196	Dypsis lutescens / Areca Palm	12	6	9	3-Average	Remain	4	3.14	9	28	0
197	Adonidia merrillii / Christmas Palm	20	8	3	3-Average	Remove	4	3.14	16	50	50
282	Adonidia merrillii / Christmas Palm	20	8	3	3-Average	Relocate	4	3.14	16	50	0
283	Dypsis lutescens / Areca Palm	12	6	9	3-Average	Remove	4	3.14	9	0	50
284	Adonidia merrillii / Christmas Palm, Dbl.	12	6	6	3-Average	Relocate	4	3.14	9	0	0
285	Adonidia merrillii / Christmas Palm, Trip.	12	6	9	3-Average	Relocate	4	3.14	9	0	0
286	Adonidia merrillii / Christmas Palm	12	6	3	3-Average	Relocate	4	3.14	9	0	0
288	Ptychosperma elegans / Solitaire Palm	20	8	3	3-Average	Remove	4	3.14	16	50	50
333	Pandanus utilis / Common Screw Pine	8	8	3	4-Poor	Remove	4	3.14	16	50	50
334	Pandanus utilis / Common Screw Pine	8	8	3	4-Poor	Remove	4	3.14	16	50	50
335	Dracaena fragrans / Corn Plant	10	4	3	4-Poor	Remove	0	3.14	4	13	0
336	Pandanus utilis / Common Screw Pine	8	8	3	4-Poor	Remove	4	3.14	16	50	50
347	Dypsis lutescens / Areca Palm	10	6	9	4-Poor	Remove	4	3.14	9	28	50
354	Adonidia merrillii / Christmas Palm	15	8	3	3-Average	Relocate	4	3.14	16	50	0
408	Adonidia merrillii / Christmas Palm, Dbl.	10	8	6	3-Average	Relocate	4	3.14	16	50	0
410	Cocos nucifera / Coconut Palm	20	10	10	2-Good	Remove	3	3.14	25	79	100
461	Sabal palmetto / Cabbage Palm	20	10	10	2-Good	Remain	3	3.14	25	79	0
										2,228	900



NOTE:
From The Start And Throughout The Duration Of The Project:
Contractor To Install A Wood Fence Barrier To Form A Continuous Circle Around The Tree Or All Existing Trees To Remain.
Contractor Shall Take Extra Care During Earthwork And Utility Operations To Protect All Existing Trees And Shall Be Responsible To Replace Any Damaged Trees During Construction.

Before Construction Begins,
Contractor To Install and Maintain Tree Protection Fencing Around Existing Trees As Shown. See Existing Tree Protection Detail This Sheet

Sunshine811
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
Check positive response codes before you dig!

EXISTING TREE PROTECTION DETAIL
NTS

THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN ASSOCIATE, CERTIFIED ARBORIST
2600 NE 27th AVENUE
FORT LAUDERDALE, FLORIDA 33306
tcawhite@ellsouth.net
954-253-2265

REVISIONS

Tree Survey / Disposition Plan
Wilton Yards Townhomes
2700 NE 9th Avenue
Wilton Manors, FL 33334

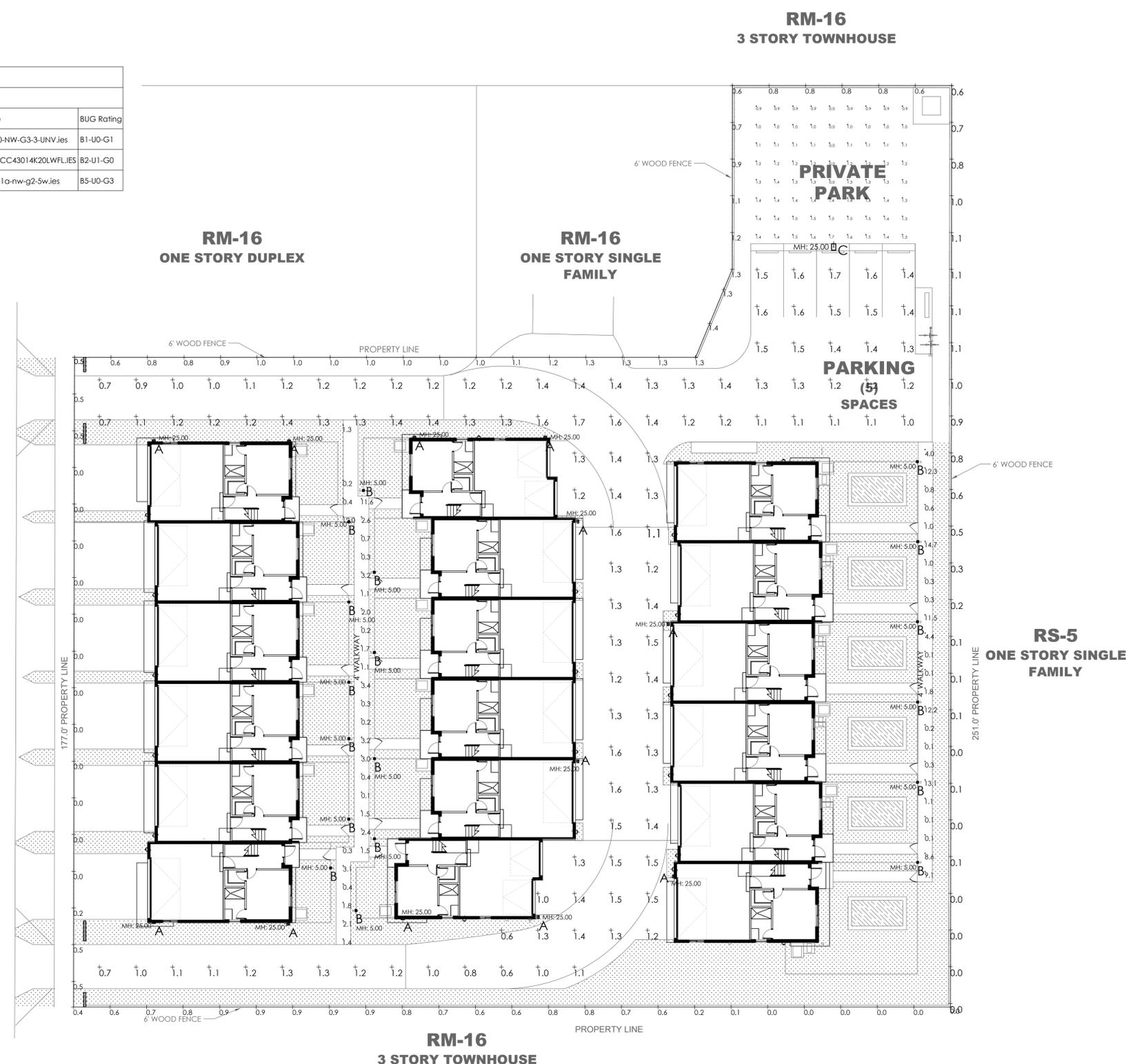


DRAWN: TW
CHECKED: TW
DATE: 12-10-2022
SCALE: 1"=20'

Luminaire Schedule											
Project: WILTON YARDS TOWNHOUSES 2700 NE 9TH AVE WILTON MANORS, FL SITE 12-9-2022											
Symbol	Qty	Label	Arrangement	LLD	[MANUFAC]	Description	Mounting Height	Luminaire Watts	Total Watts	Filename	BUG Rating
☐	12	A	Single	0.900	STONCO	LPW-16-20-NW-G3-3	25	23	276	LPW16-20-NW-G3-3-UNV.ies	B1-U0-G1
☐	18	B	Single	0.900	FC Lighting	F002568FCC43014K0SLWFL	5	5	90	F002568FCC43014K20LWFL.IES	B2-U1-G0
☐	1	C	Single	0.900	GARDCO	ECF-S-48L-1A-NW-G2-5W	25	159	159	ecf-s-48l-1a-nw-g2-5w.ies	B5-U0-G3

Calculation Summary									
Project: WILTON YARDS TOWNHOUSES 2700 NE 9TH AVE WILTON MANORS, FL SITE 12-9-2022									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	POINT SPACING	CALC PLANE HEIGHT
DOGPARK_Planar	Illuminance	Fc	1.06	1.7	0.0	N.A.	N.A.	10'	GRADE
PAVEMENT_Planar	Illuminance	Fc	1.27	1.7	0.6	2.12	2.83	10'	GRADE
REAR SIDEWALK_Planar	Illuminance	Fc	4.08	14.7	0.1	40.80	147.00	5'	GRADE
SIDEWALK_Planar	Illuminance	Fc	2.12	12.0	0.1	21.20	120.00	5'	GRADE
SPILL	Illuminance	Fc	0.58	1.4	0.0	N.A.	N.A.		

N.E. 9th AVENUE
(50' R.O.W. - 22' ASPHALT P/MT)



1 SITE LIGHTING - PHOTOMETRIC PLAN
LL-1 scale: 1/16" = 1'-0" N

LIGHTING SPILL NOTE:
Lights shall be properly shielded and thus cut off from neighbors.
No light is allowed to spill into neighboring properties.

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5130 N. Federal Hwy, Suite 200
Fort Lauderdale, FL 33308
P: (954) 461-4314
bach@bachengineers.com
CA #288936
Dori Pienaru, P.E.
Florida License #73022

FLORIDA PROFESSIONAL ENGINEER
No. 73022

GERALD BELGRAVE
AR0015085

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ARCHITECTURE & INTERIOR DESIGN
2601 E Oakland Park Blvd, Ste 203
Fort Lauderdale, Florida 33306
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WILTON YARDS TOWNHOUSES
2700 NE 9TH AVENUE
WILTON MANORS, FLORIDA 33334

REVISIONS
1. BD COMMENTS 23.03.27

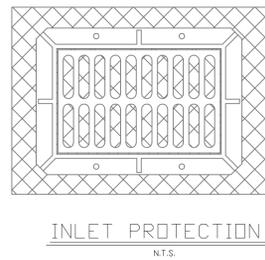
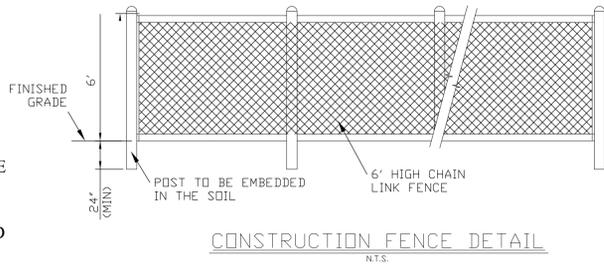
Job No: NEST - 2153
Date: 11/15/2022
Drawn by: SARIAG
Checked by: GB

DRC SUBMITTAL

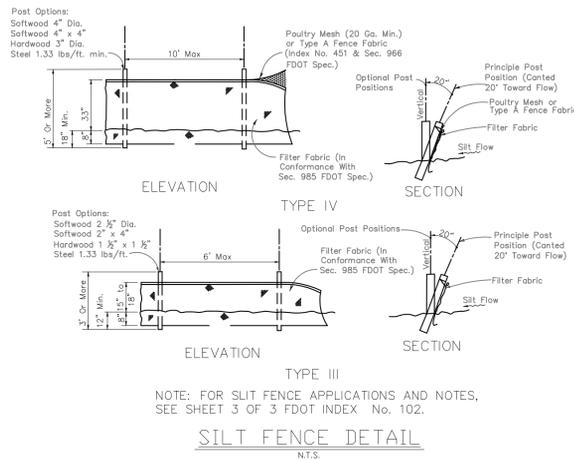
Drawing No.
LL-1

EROSION AND SEDIMENT CONTROL NOTES

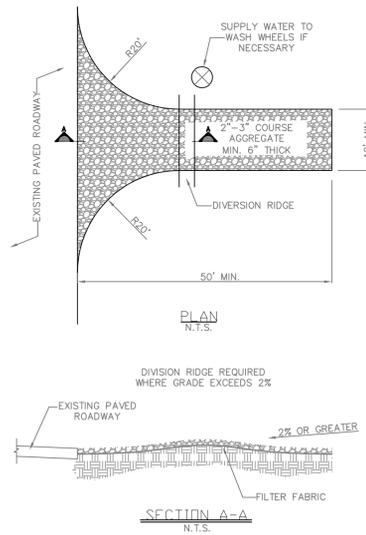
1. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND APPLICABLE WATER MANAGEMENT DISTRICT PERMIT(S) FOR THIS PROJECT.
2. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWERS MANUAL" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (FDER).
3. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
4. ALL EXCAVATIONS AND EARTHWORK SHALL BE DONE IN A MANNER TO MINIMIZE WATER TURBIDITY AND POLLUTION. DISCHARGE SHALL BE CONTROLLED AND REROUTED THROUGH FILTERS, SILTATION DIAPERS AND SUMPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION, CORRECTION, CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION IN ACCORDANCE WITH CHAPTER 62-302, FLORIDA ADMINISTRATIVE CODE.
5. THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM ANY AGENCY THAT RESULTS IN FINES BEING ASSESSED TO THE OWNER BECAUSE OF THE CONTRACTOR'S FAILURE TO ELIMINATE TURBID RUNOFF FROM LEAVING THE SITE AND RAISING BACKGROUND LEVELS ABOVE EXISTING BACKGROUND LEVEL.
6. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
7. ADDITIONAL PROTECTION - ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DO TO UNFORESEEN CONDITIONS OR ACCIDENTS.
8. SILT FENCES SHALL BE USED ALONG THE PROPERTY LINES TO MINIMIZE OFFSITE SILTATION MITGRATION.
9. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEASE DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
10. SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
11. FILER FABRIC SHALL BE INSTALL UNDER INLET GRATES AND EXTEND A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. IF MORE THAN ONE STRIP OF FABRIC IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED 1 FOOT.
12. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL AND AS NEEDED.
13. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
14. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE APPLICABLE WATER MANAGEMENT DISTRICT.
15. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
16. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
17. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER BARRIER ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
18. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
19. ALL DEWATERING, EROSION, AND SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL AFTER COMPLETION OF CONSTRUCTION AND SHALL BE REMOVED WHEN AREAS HAVE BEEN STABILIZED.
20. BE ADVISED THAT APPLICANTS WITH PROJECTS THAT WILL RESULT IN THE DISTURBANCE OF 1 OR MORE ACRES OF LAND ARE REQUIRED TO SUBMIT A STORM WATER NOTICE OF INTENT (DEP FORM 62- 621.300(4)(B)) 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2600 BLAIR STONE ROAD MAIL STATION 2510, TALLAHASSEE, FL 32399-2400. ADDITIONAL DETAILS ARE AVAILABLE AT THEIR WEBSITE: WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES. IN ADDITION, PLEASE SUBMIT A STORMWATER POLLUTION PREVENTION PLAN TO THE BROWARD COUNTY SURFACE WATER MANAGEMENT SECTION SHOWING ALL BEST MANAGEMENT PRACTICES TO BE IMPLEMENTED DURING THE CONSTRUCTION OF THE PROJECT.



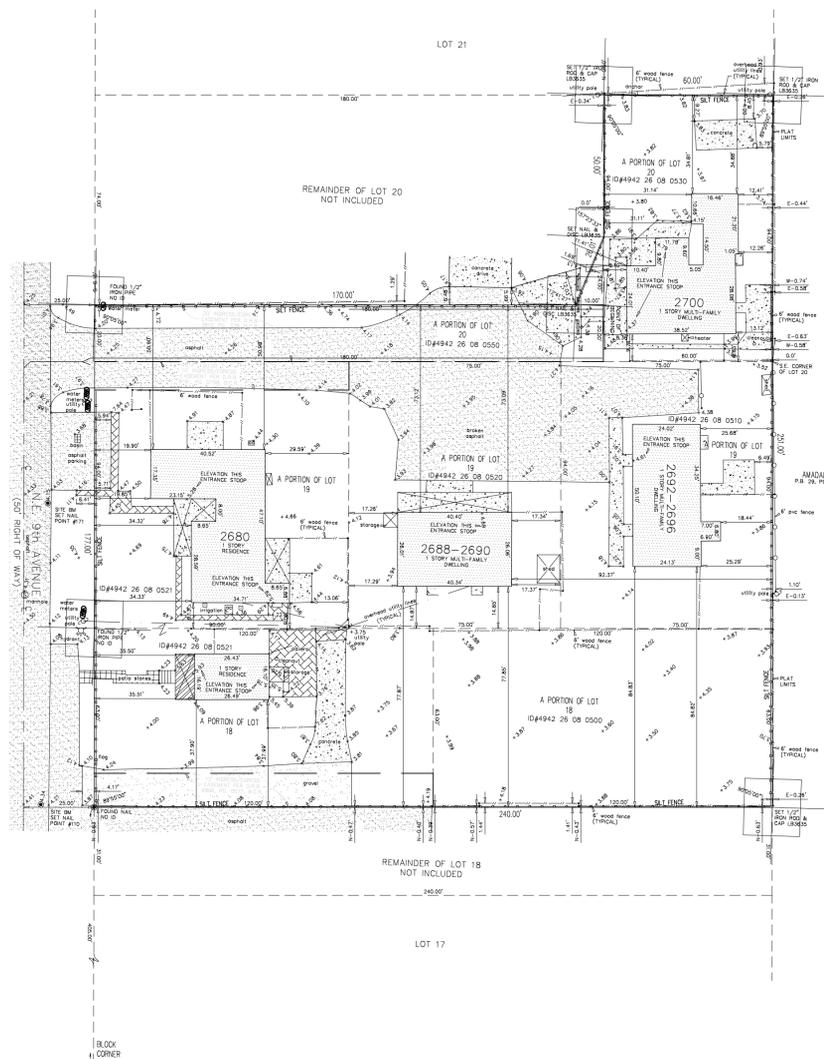
NOTE: INSTALL FILTER FABRIC UNDER ALL GRATES TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM ENTERING THE SYSTEM.



NOTE: FOR SILT FENCE APPLICATIONS AND NOTES, SEE SHEET 3 OF 3 FDOT INDEX No. 102.



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE N.T.S.



EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1"=30'



GATOR ENGINEERING ASSOCIATES, INC.
11380 TEMPLE STREET
COOPER CITY, FL 33330
TEL: (954) 434-5905 FAX: (954) 434-5904
CERTIFICATE OF AUTHORIZATION NUMBER 30230



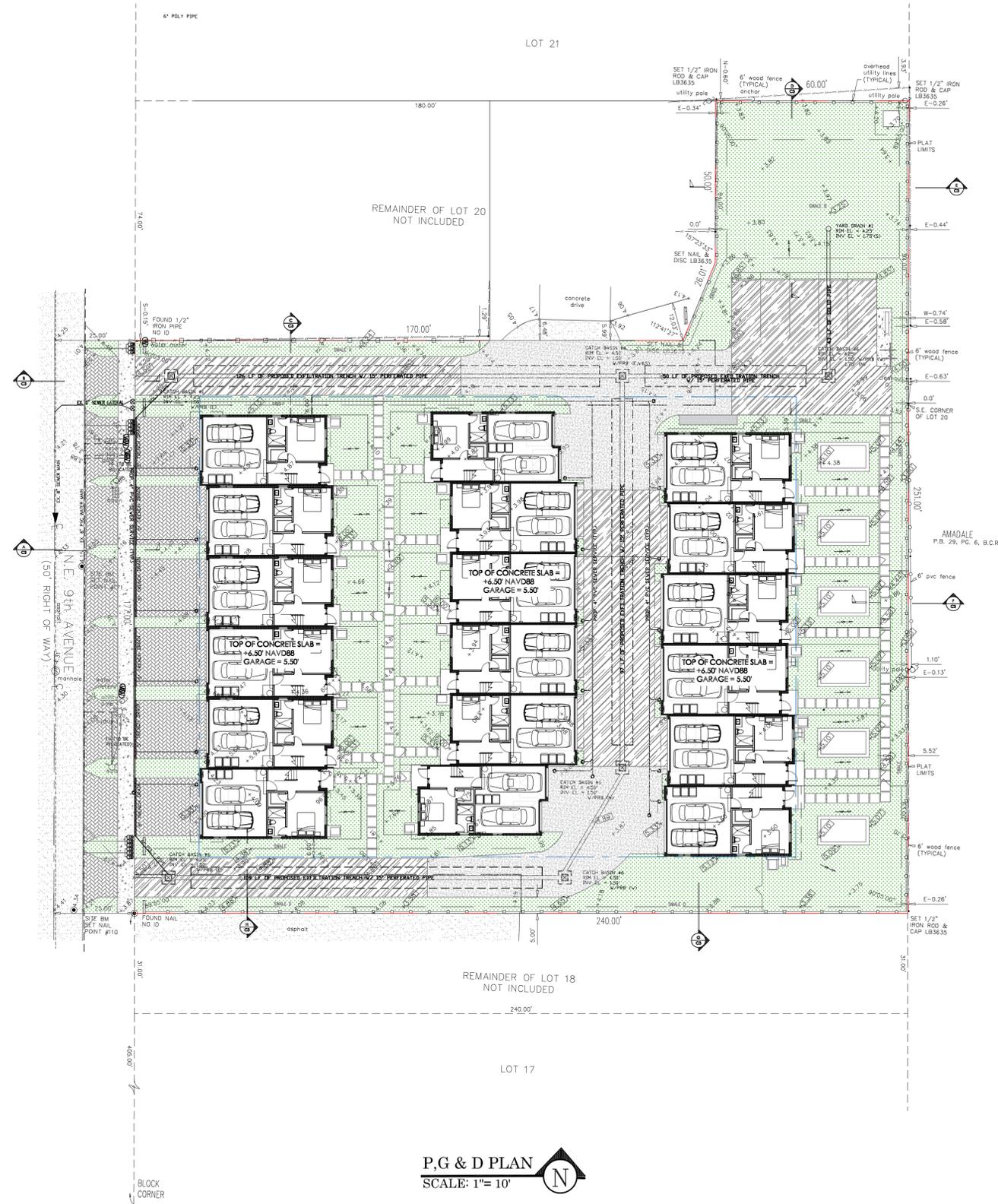
WILTON YARDS TOWNHOMES
2700 NE 9TH AVENUE
WILTON MANORS, FL 33334

NO.	DATE	DESCRIPTION

GEA PROJECT NO.: 22116
DATE: 12-03-2022
SCALE: AS SHOWN
DESIGNED BY: R.B.J.
DRAWN BY: L.B.
CHECKED BY: R.B.J.
APPROVED BY: R.B.J.

SHEET TITLE
EROSION & SEDIMENT CONTROL PLAN

This item has been digitally signed and sealed by Regina Bobo-Jackson, P.E. on the date adjacent to the seal. Printed copies of this document is not considered signed and sealed and the signature must be verified on any electronic copies.



P, G & D PLAN
SCALE: 1"= 10'

This item has been digitally signed and sealed by Regina Bobo-Jackson, P.E. on the date adjacent to the seal. Printed copies of this document is not considered signed and sealed and the signature must be verified on any electronic copies.

GENERAL NOTES:

1. BASE LAYOUT WAS OBTAINED FROM A SURVEY PREPARED BY ACCURATE LAND SURVEYORS, INC.
2. ALL ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.).
3. HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE CONTRACTOR'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER REPRESENTATIVE.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES VERIFIED AND LOCATED PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE SUCH DAMAGES.

SPECIFIC NOTES:

1. ALL STORM WATER RUNOFF MUST REMAIN ONSITE DURING CONSTRUCTION. THE NEW CONSTRUCTION SHALL HAVE NO DRAINAGE IMPACTS TO ADJACENT PROPERTIES, SURROUNDING RIGHT OF WAYS, STORMWATER FACILITIES AND NEIGHBORING WATER BODIES.
2. PROPERTY WILL BE SLOPED AWAY FROM PROPERTY LINE AT THE BEGINNING OF CONSTRUCTION TO MAINTAIN ALL DIRT AND DEBRIS ON SITE.
3. DRAINAGE SYSTEM AND SWALES SHALL BE INSTALLED AS DETAILED.
4. COORDINATE THE GRADING AND DRAINAGE ON THIS PLAN WITH THE LANDSCAPE PLANS.
5. THE CONTRACTOR SHALL FOLLOW DRIVEWAY DETAIL C1.3R AND PROVIDE A 6-INCH SWALE IN THE GRASS PORTION OF THE CITY RIGHT OF WAY, AS PER CITY DETAIL D4.2R. SEE DETAILS ON SHEET C3 OF 3.
6. NEW WATER SERVICES CONNECTIONS 2 INCH AND SMALLER WILL BE INSTALLED BY THE CITY OF FORT LAUDERDALE IN ACCORDANCE WITH CITY STANDARDS. COORDINATE ALL NEW UTILITY WORK WITH THE UTILITIES DEPARTMENT.
7. PLEASE BE ADVISED THAT ANY ROAD CUTS FOR UTILITIES OR CURB CUTS WITHIN 50-FT. IN THE CITY RIGHT OF WAY SHALL BE RESTORED TO FULL LANE WIDTH, AND PROVIDE FINAL RESURFACE OF 25-FT. IN EACH DIRECTION OF CUT, PER CITY CODE OF ORDINANCES SECTION 25-108 AND IN ACCORDANCE WITH THE CITY'S RESTORATION STANDARD DETAIL. THIS APPLIES TO ALL ROAD CUTS FOR SEWER LATERALS AND WATER SERVICE LINES.
8. A 5 FEET MINIMUM SEPARATION SHOULD BE PROVIDED BETWEEN ANY EXISTING OR PROPOSED UTILITY AND TREES, COORDINATE WITH LANDSCAPING PLAN SHEET L1.
9. ROOT BARRIER PROTECTION SHALL BE PROVIDED FOR THE NORTH SEWER LATERAL WHICH IS WITHIN 5 FT OF THE PROPOSED PIGEON PLUM SEE PLAN SHEET L1.

SITE CALCULATIONS:

	EXISTING	PROPOSED
BUILDING FOOTPRINT	5,774 SQ FT	15,675 SQ FT
DRIVEWAYS/PARKING	9,088 SQ FT	12,309 SQ FT
WALKWAY/PADS	3,414 SQ FT	0 SQ FT
PARKING TURF BLOCK*	0 SQ FT	2,730 SQ FT
WALKWAYS TURF BLOCK*	0 SQ FT	2,120 SQ FT
LANDSCAPING	28,769 SQ FT	19,061 SQ FT
TOTAL AREA	47,045 SQ FT	47,045 SQ FT
TOTAL PERVIOUS AREA	28,769 SQ FT	19,061 SQ FT
TOTAL IMPERVIOUS AREA	18,276 SQ FT	27,984 SQ FT

*PORTION OF TURF BLOCK IMPERVIOUS 60% / PERVIOUS 40%

LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- EX. WATER METER (TO BE CAPPED & REMOVED)
- EX. WATER METER
- PROPOSED BACKFLOW PREVENTER W/SHUT-OFF VALVE
- PROPOSED SEWER CLEAN OUT
- EX. SEWER MAIN
- EX. WATER MAIN
- PROPERTY LINE
- BOTTOM OF SWALE
- FLOW ARROW

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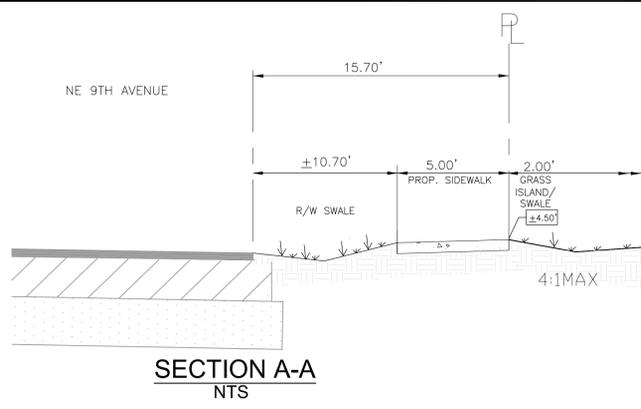
DATE: REGINA BOBO-JACKSON, P.E.
FL. P.E. NO.: 38550

WILTON YARDS TOWNHOMES
2700 NE 9TH AVENUE
WILTON MANORS, FL 33334

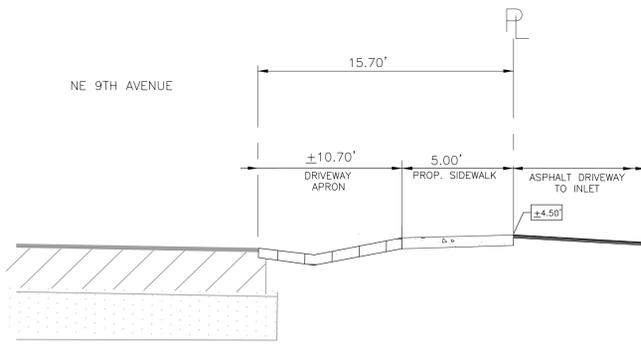
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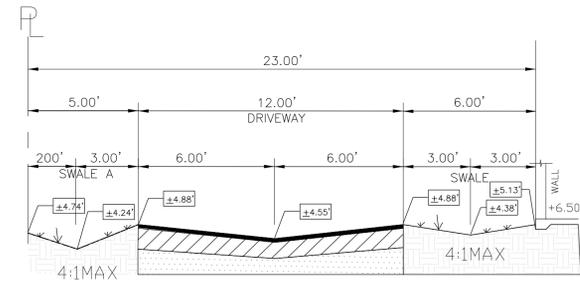
SHEET TITLE
P, G & D AND WATER & SEWER PLANS
C2 OF 4



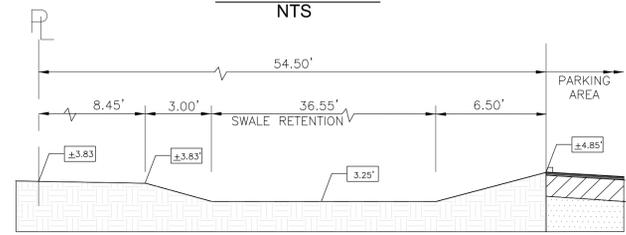
SECTION A-A
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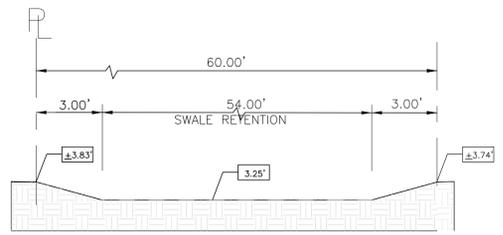
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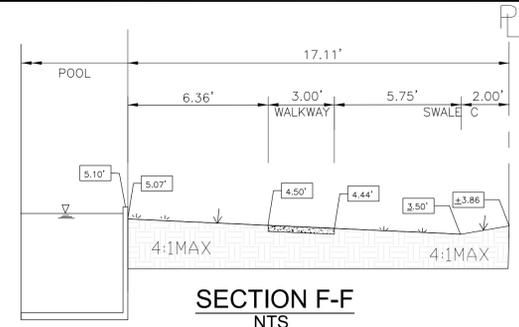
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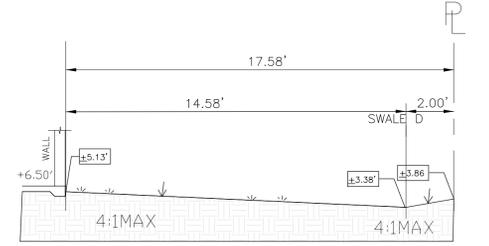
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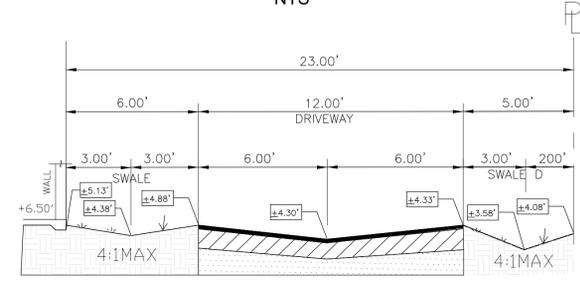
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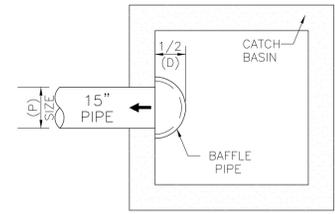
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SECTION G-G
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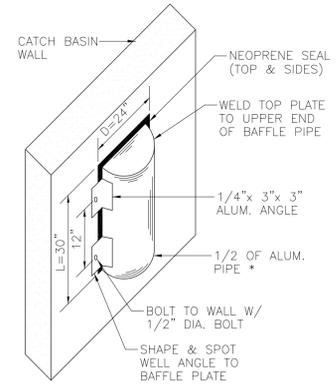


SECTION H-H
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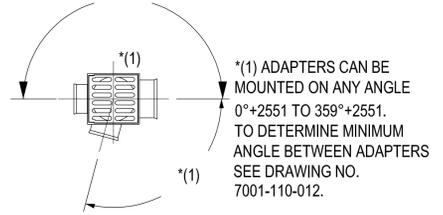
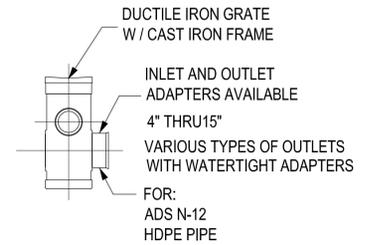


PLAN VIEW

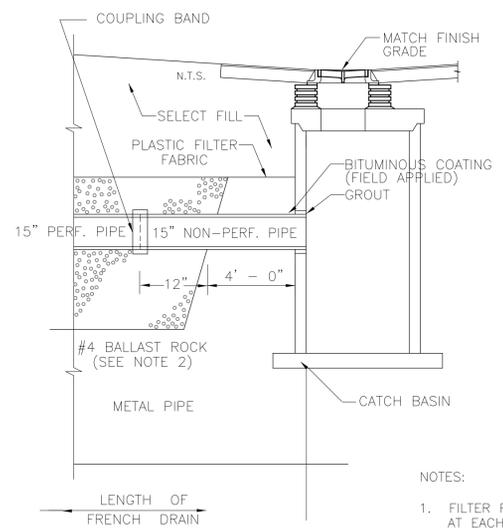
NOTE:
INSTALL BAFFLE WITH TOP PLATE
3" ABOVE TOP OF OUTFALL PIPE
AND BOTTOM OF BAFFLE PIPE 6"
BELOW INV. OF OUTFALL PIPE.



POLLUTION RETARDENT BAFFLE (PRB)
N.T.S.



15\"/>

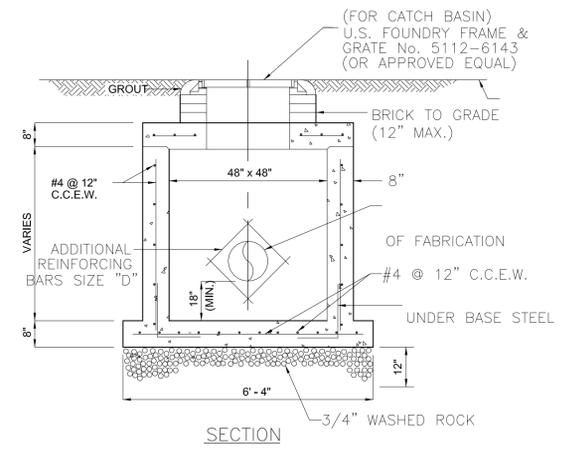


LONGITUDE SECTION

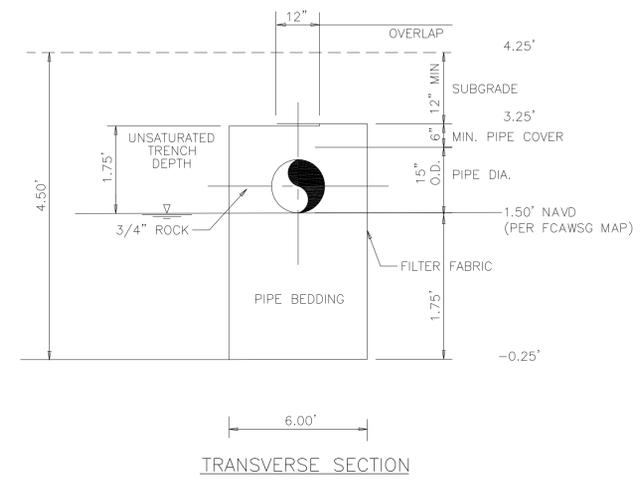
NOTES:

1. FILTER FABRIC PER F.D.O.T. STD. INDEX #199 SHALL BE USED AT EACH SIDE AND ON TOP, AND AT EACH END OF FRENCH DRAIN TRENCH.
2. THE DEPTH OF THE EXFILTRATION TRENCH SHALL BE 3.50 FEET.
3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY VIBRATED OR COMPACTED IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION SO THAT THE EXFILTRATION TRENCH CAN BE COMPLETED IN ACCORDANCE WITH THE DETAIL.

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PRECAST DRAINAGE CATCH BASIN
N.T.S.



TRANSVERSE SECTION

TYPICAL DETAIL — EXFILTRATION TRENCH
N.T.S.

GATOR ENGINEERING ASSOCIATES, INC.
11380 TEMPLE STREET
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TEL: (954) 434-5905 FAX: (954) 434-5904
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SHEET TITLE
DETAILS
C3 OF 4

