

WILTON MANORS - 3 TOWN HOUSES LDA 5

55 NE 25 STREET, WILTON MANORS FL 33305-1025

SCOPE OF WORK

NEW MULTIFAMILY PROJECT DEVELOPMENT WHICH CONSISTS OF 3 SINGLE FAMILY HOME DWELLING OF 2 STORY TOWNHOMES, WITH 4 BEDROOM & (3) BATHROOMS, 1 HOME OFFICE / STUDY, DINING ROOM, LIVING ROOM, KITCHEN, 2 CARS GARAGE, PORCH, ACCESS LOBBY, AND LAUNDRY CLOSET, BUILT IN CBS STRUCTURE AND CONCRETE BEAMS, HOLLOWCORE PRESTRESSED CONCRETE FLOORS. (ROOFING, LANDSCAPING FENCING AND SWIMING POOL BY SEPARATED PERMIT)

THE INTENTION OF THIS WORK IS TO FULLFIL THE CONSTRUCTION PROCESS OF THIS PROJECT ACCORDING TO THIS SET OF PLANS DATED TO FBC 2020 7TH EDITION, BY THE ARCHITECT OF RECORDS. THIS JOB INCLUDES ALSO INTERIOR PARTITIONS, CEILINGS. EXTERIOR AND INTERIOR FINISHES, ELECTRICAL, PLUMBING AND MECHANICAL WORK .WINDOWS & DOORS INSTALLATION, KITCHEN, AND ROOFING

OCCUPANCY : RESIDENTIAL GROUP RM-16
TYPE OF CONSTRUCTION: TYPE II-A



PROJECT LOCATION

DEFERRED SUBMMITALS ARE REQUIRED FOR:

- POOL & POOL DECK
- RAILINGS
- ROOFING TPO.
- DRIVEWAY AND PAVING
- LANDSCAPING AND IRRIGATION
- FENCING
- WINDOWS & DOORS

LEGAL DESCRIPTION

PETITE UNIT 2 19-25 B LOT 19,20 BLK 6

GENERAL NOTES

- 1-GENERAL CONTRACTOR AND ALL SUB CONTRACTORS SHALL VISIT THE BUILDING SITE AND VERIFY ALL CONDITIONS PRIOR TO SUBMISSIONS OF BID.
- 2-ANY ERRORS, AMBIGUITIES AND OMISSIONS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT FOR CORRECTIONS BEFORE SUBMISSION OF BID.
- 3-UNLESS EXPRESSLY STIPULATED, NO ADDITIONAL ALLOWANCE WILL BE MADE IN THE AND/OR OMISSIONS WHICH SHOULD HAVE BEEN DISCOVERED DURING THE PREPARATION CONTRACT AND/OR MANUFACTURES FAVOR OR BY VIRTUE OF ERRORS, AMBIGUITIES OF BID ESTIMATE AND DIRECTED TO THE (ARCHITECT) ATTENTION IN A TIMELY MANNER.
- 4-WRITTEN DIMENSIONS GOVERN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. IN THE EVENT OF CONFLICT, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH ANY WORK.
- 5-CONTRACTOR AND SUBCONTRACTORS DOING WORK ON THIS PROJECT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND THE OWNER SHALL BE FURNISHED WITH A CERTIFICATE OF SAID INSURANCE. CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY WORKER'S COMPENSATION INSURANCE ON ALL WORKMEN EMPLOYED ON THIS JOB.
- 6-ALL WORK PERFORMED SHALL CONFORM TO THE LATEST EDITION OF THE LOCAL BUILDING CODE HAVING JURISDICTION AND ALL APPLICABLE COUNTY ORDINANCES, AND SHALL BE COMPLETED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEVMEN OF THE RESPECTIVE TRADES.
- 7-CONTRACTOR IS RESPONSIBLE FOR THE PROPER EXECUTION OF ALL WORKS, NOT WITHSTANDING THE APPROVAL OF SHOP DRAWINGS, DESIGN MIXES, LABORATORY INSPECTIONS AND REPORTS, ARCHITECTS AND/OR ARCHITECT'S FIELD OBSERVATIONS, THE LIKE OF WHICH ARE INTENDED TO ASSIST BUT IN NO WAY RELIEVE THE CONTRACTOR OF HIS/HER RESPONSIBILITY.
- 8-INCLUDED IN THE RESPONSIBILITIES OF ITEM 8. ARE THE FOLLOWING:
 - A-EXECUTION OF ALL WORKS IN A PROPER AND SAFE MANNER FOR ALL PERSONS, EQUIPMENT AND PROPERTIES.
 - B-DESIGN, ARCHITECT, CONSTRUCTION AND HANDLING OF ALL FORM WORK AND TEMPORARY STRUCTURES.



PROPOSED FRONT 3D VIEWS

SHEET LIST

#	SHEET NAME
A000	COVERPAGE
A101	SITE PLAN
A102	FIRST FLOOR PLAN
A103	SECOND FLOOR PLAN
A104	ROOF PLAN
A105	EAST & NORTH ELEVATIONS
A106	WEST & SOUTH ELEVATIONS
A107	SECTIONS PLAN
A108	REFLECTED CEILINGS 1ST & 2ND FLOOR PLANS
A109	RENDERS 2
A110	PARKING SPACES CALCULATION
E101	ELECTRICAL 1ST FLOOR PLAN
E102	ELECTRICAL 2ND FLOOR PLAN
E103	ELECTRICAL LIGHTNING 1ST FLOOR PLAN
E104	ELECTRICAL LIGHTNING 2ND FLOOR PLAN
ENG 101	WATER AND SEWER CONNECTION PLAN
ENG 102	ENGINEERING DETAILS
ENG 103	SWALE AND GRADING PLAN
M100	MECHANICAL 3D & DETAILING
M101	MECHANICAL 1ST FLOOR PLAN
M102	MECHANICAL 2ND FLOOR PLAN
P101	PLUMBING 1ST FLOOR PLAN
P102	PLUMBING 2ND FLOOR PLAN
P103	WATER DIST 1ST FLOOR PLAN
P104	WATER DIST 2ND FLOOR PLAN
P105	WATER DIST RISER
S101	GENERAL NOTES STRUCTURAL PLAN
S102	FOUNDATION PLAN
S103	ROOF FRAMING PLAN
S104	STRUCTURAL DETAILS
S105	STRUCTURAL DETAILS 2

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LDA VENTURES 5 LLC
55 NE 25 STREET, WILTON MANORS FL 33305-1025
PROJECT:

3 TOWN HOUSES LDA 5

ORLANDO CASTRO
ARCHITECT.
AR98530

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SUNRISE BLVD
PLANTATION FL. 33322
PH: (954) 474-0220
EMAIL: america.gcs@hotmail.com

JOB NUMBER:	2022-0009
DATE:	12-05-2022
DRAWN BY:	OCS
CHECKED BY:	Orlando C.

REVISIONS

- 1: FOR DRC MEETING 01-16-23
- 2: FOR DRC MEETING 04-11-23

COVERPAGE

SHEET

A000

OF

ARCHITECT

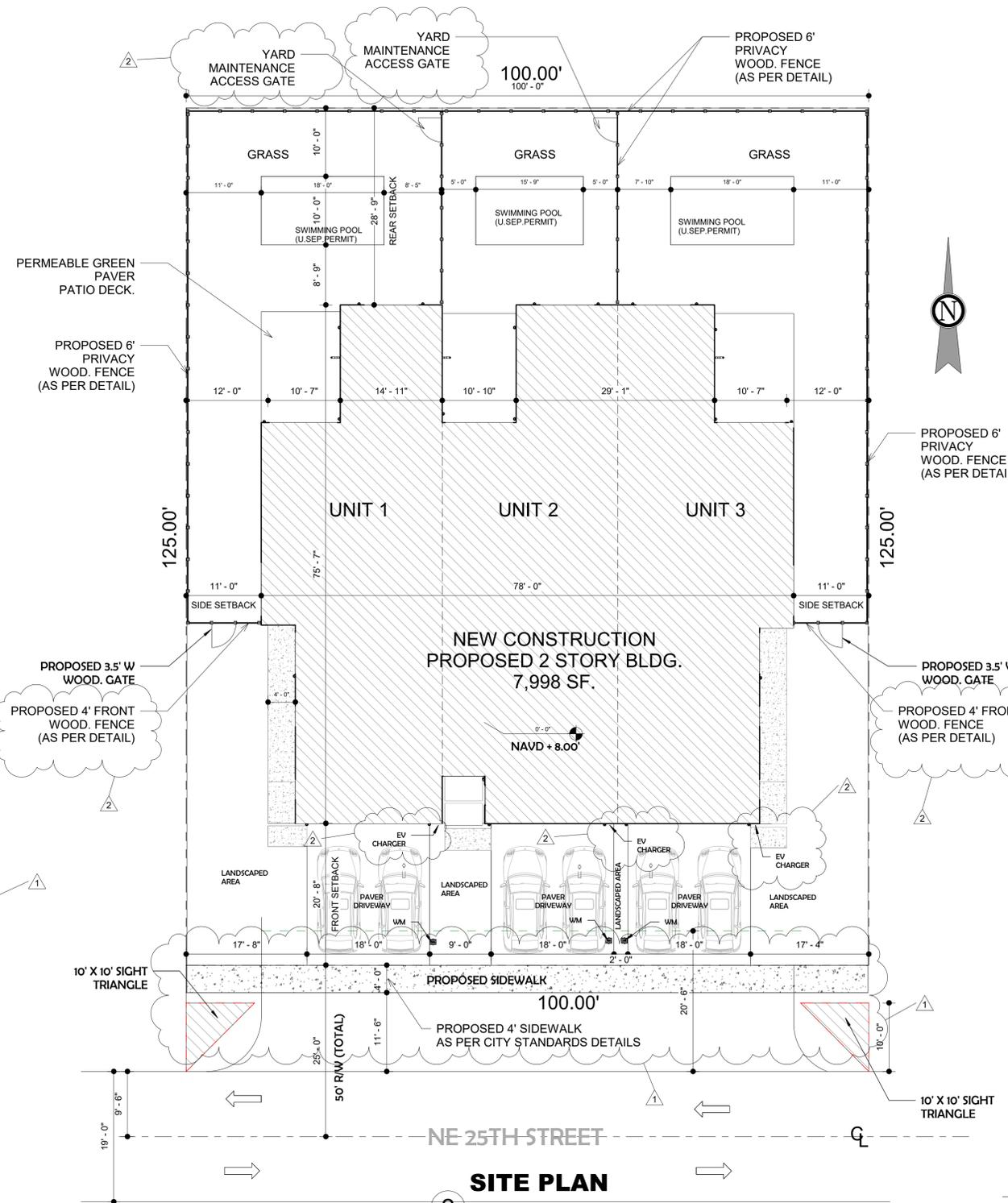
ZONING CODES APPLICATION

	PROVIDED	REQUIRED
ZONING CODE	RM-16	RM-16
LOT'S LAND USE DESIGNATION	R-L/MD – Low Medium 10 Res.	R-L/MD – Low Medium 10 R.
LOT GROSS SQUARE FOOTAGE (lot area plus area of right of way adjacent to lot to the centerline of the road).	15,000.00 SF	0.3443 ACRES
LOT AREA	12,497.00 SF	0.2869 ACRES
CONSTRUCTION DENSITY MAX.	3 DU MAX	16 DU/ACRE
LOT COVERAGE MAX. 60% (Lot area/1st floor const. area)	4,987 SF 37.81%	7,500.00 SF MAX
PERVIOUS MIN. AREA. 40%	5,003.04 SF 40.04%	5,000 SF MIN.
IMPERVIOUS AREA.	7493.96 SF 59.96%	N/A
HEIGHT MAX. TO TOP OF ROOF	2 STORIES T.O.R 22.00 FT	50 FT. MAX
TOWNHOUSE AREA : (LIVING)	AVERAGE 2,622 Sf.	600 SF = (4 BDRMS)
MIN. LOT PER UNIT	N/A	N/A
MIN. LOT WIDTH	100 Sf.	75 Sf.
SETBACKS		
FRONT SETBACK	20' - 8"	20 FT
REAR	28.8 FT	BUILDING H.
SIDE SETBACK (20% of Lot/W Min. Sum of 2 sides)	22'-00" Ft	22'-00" FT

PARKING SPACES	
PARKING REQ'D = 2.5 SPACES / DWELLING (*3 DW) = 7.5 SPACES + 2 ADD (1 EA 4TH RM) = 9.5 SPACES (ROUNDED TO 10) + (10%) = 10 + 1 = 11 PARKING SPACES REQUIRED.	
12 SPACES PROVIDED. (NOTE: 1 EXTRA PARKING SPACE PROVIDED)	

PROJECT PROPOSAL SUMMARY	UNIT #
UNITS 2 STORY ,RMS/BTHS 4/ 3	3 UN
U/A CONSTRUCTION AREA	7,197 SF
GARAGES :450 SF X UNIT	1,298 SF
TOTAL CONSTRUCTION AREA	8,400 SF
PRIVATE BALCONIES & TERRACES	1,762 SF
TOTAL CONSTRUCTION AREA	10,257 SF
FLOOD ZONE	AH
BASE FLOOD ELEVATION	+6.00'
PROP. F.F. ELEVATION	+8.00'

AREA SCHEDULE PER DWELLING UNIT	
UNIT 1 RMS/BTHS 4/ 3	
1ST FLOOR UNDER AIR / LIVING AREA	1185 SF
2ND FLOOR UNDER AIR / LIVING AREA	1165 SF
GARAGE	450 SF
1ST FLOOR TERRACE	198 SF
2ND FLOOR TERRACE	376 SF
TOTAL UNDER AIR AREA	2350 SF
TOTAL D.U. + GARAGE + TERRACES	3374 SF
UNIT 2 RMS/BTHS 3/ 3	
1ST FLOOR UNDER AIR / LIVING AREA	1308 SF
2ND FLOOR UNDER AIR / LIVING AREA	1189 SF
GARAGE	402 SF
1ST FLOOR TERRACE	191 SF
2ND FLOOR TERRACE	423 SF
TOTAL UNDER AIR AREA	2497 SF
TOTAL D.U. + GARAGE + TERRACES	3513 SF
UNIT 3 RMS/BTHS 4/ 3	
1ST FLOOR UNDER AIR / LIVING AREA	1185 SF
2ND FLOOR UNDER AIR / LIVING AREA	1165 SF
GARAGE	446 SF
1ST FLOOR TERRACE	198 SF
2ND FLOOR TERRACE	376 SF
TOTAL UNDER AIR AREA	2350 SF
TOTAL D.U. + GARAGE + TERRACES	3370 SF

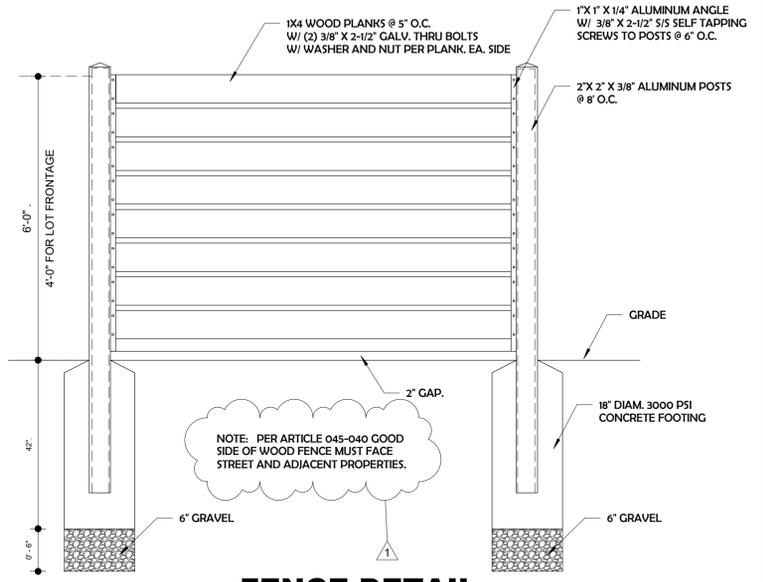


TABULAR DATA
 CODE EFFECTIVE F.B.C. 2020 7TH. EDITION
 NFPA 70 2017 ED. & NEC 2017
 FBC ENERGY CONS. 2020 7TH ED.
 FBC RE. 2020 7TH ED., FLORIDA STATUTES
 & FAC. (FLORIDA ADMINISTRATIVE CODE)

GREEN DESIGN ELEMENTS		
GREEN DESIGN ELEMENTS IMPLEMENTED	POINTS	DESCRIPTION
PERMEABLE SURFACE FOR PARKING AND DRIVES	4	AT LEAST 50% OF TOTAL SURFACE OF DRIVEWAY AND PARKING NEEDS ARE PERMEABLE SURFACES
WHITE ROOF	4	THE ENTIRE ROOF SURFACE MUST BE COVERED IN WHITEREFLECTIVE COVERING
100% NATIVE PLANTS IN LANDSCAPING	2	MEET ALL LANDSCAPING REQUIREMENTS WITH 100% NATIVE VEGETATION
ENERGY STAR RATING FOR ALL APPLIANCES/EQUIPMENT	4	ALL APPLIANCES/EQUIPMENT ASSOCIATED WITH THE BUILDING ARE ENERGY STAR RATED
ELECTRIC VEHICLE CHARGING STATIONS	6	3 STATIONS INSTALLED TOTAL
TOTAL POINTS PROVIDED	20	TOTAL POINTS REQUIRED 10

SITE PLAN NOTES

- * GARAGES RESTRICTION COVENANT
- GARAGES CANNOT BE USED FOR OTHER PURPOSES SUCH US OFFICES, STORAGE OR ANY OTHER USE DIFFERENT THAN PARKING SPACES FOR TWO CARS.
- * E.V. (ELECTRICAL VEHICLES) CHARGING STATION PROVIDED MUST REMAIN
- * WEATHER PROOF GFI ELECTRICAL OUTLETS TO BE INSTALLED AND DESIGNATED @ GARAGES FOR ELECTRICAL VEHICLE CHARGERS. COORDINATE W/ ELECTRICAL SHEETS.
- * BIKE STORAGE SPACE SHALL BE ACCOMMODATED AT GARAGES
- * TRASH RECEPTACLE WILL BE STORAGED UNDER STAIR LANDING WITH ACCESS FROM GARAGE.



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DRAWN BY: OCS
CHECKED BY: Orlando C.

REVISIONS

1: FOR DRC MEETING 01-16-23
 2: FOR DRC MEETING 04-11-23

SITE PLAN

SHEET

A101

OF

ARCHITECT

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FIRST FLOOR PLAN

SHEET

A102

OF

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GENERAL NOTES:

- 1- ALL BEDROOMS REQUIRE AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20 INCHES WIDTH, 24 INCHES IN HEIGHT & 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR AND NO PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 54" A.F.F.
- 2- ALL FRENCH AND SLIDING GLASS DOORS, & SHWR. ENCLOSURES SHALL BE CLASSIFIED AS CATEGORY II SAFETY TEMPERED GLAZING.
- 3- ALL NON-TEMPERED EMPERED GLAZING TO BE 3/16" THK. GLASS UNLESS OTHERWISE NOTED.
- 4- DOOR AND WINDOW INSTALLERS TO VERIFY ALL MASONRY ROUGH OPENINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 5- STEEL STUDS SUPPORTING WALL HUNG PLUMBING FIXTURES AND CABINERY SHALL BE 30 GA. @ 16" O.C. A HORIZONTAL MEMBER SECURED TO A MIN 2 STUDS SHALL BE INSTALLED FOR THE ATTACHMENT OF EACH FIXTURE.
- 6- KITCHEN & BATHROOMS 3-5/8" 18 GA. @12" O.C.
- 7- USE 1/2" DUROCK FOR ALL AREAS WITH TILE/STONE FINISH W/ BUILDING PAPER BACKING & PROVIDE BLOCKING & SUPPORT AS NEEDED FOR MILLWORK & FIXTURES.
- 8- PROVIDE MOIST. RESISTANT BOARDS ON WALL TO RECEIVE PAINT AT BATH AND LAUNDRY
- 9- COORDINATE FURRING DEPTH WITH WALL FINISH THICKNESS
- 10- INTERIOR WALL & CEILING FINISH PER FBC R3029-FLAME SPREAD INDEX OF NOT GREATER THAN 200. SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450.
- 11- INSULATION AND GLASS PROPERTIES TO MATCH MECHANICAL ENERGY CALCS- WALLS: R-5 CEILING: R-30
- 12- SAFETY GLASS SHALL BE PROVIDED IN HAZARDOUS AREAS AS DOOR BATH ENCLOSURE, ETC PROVIDE CAT.II SAFETY GLASS AS REQUIRED IN COMPLIANCE WITH FBC R 4410.2.6
- 13- PROVIDE TILES IN BATHROOM WET AREAS TO 6"-0" MIN. ABOVE FLOOR IN COMPLIANCE WITH FBC R 307

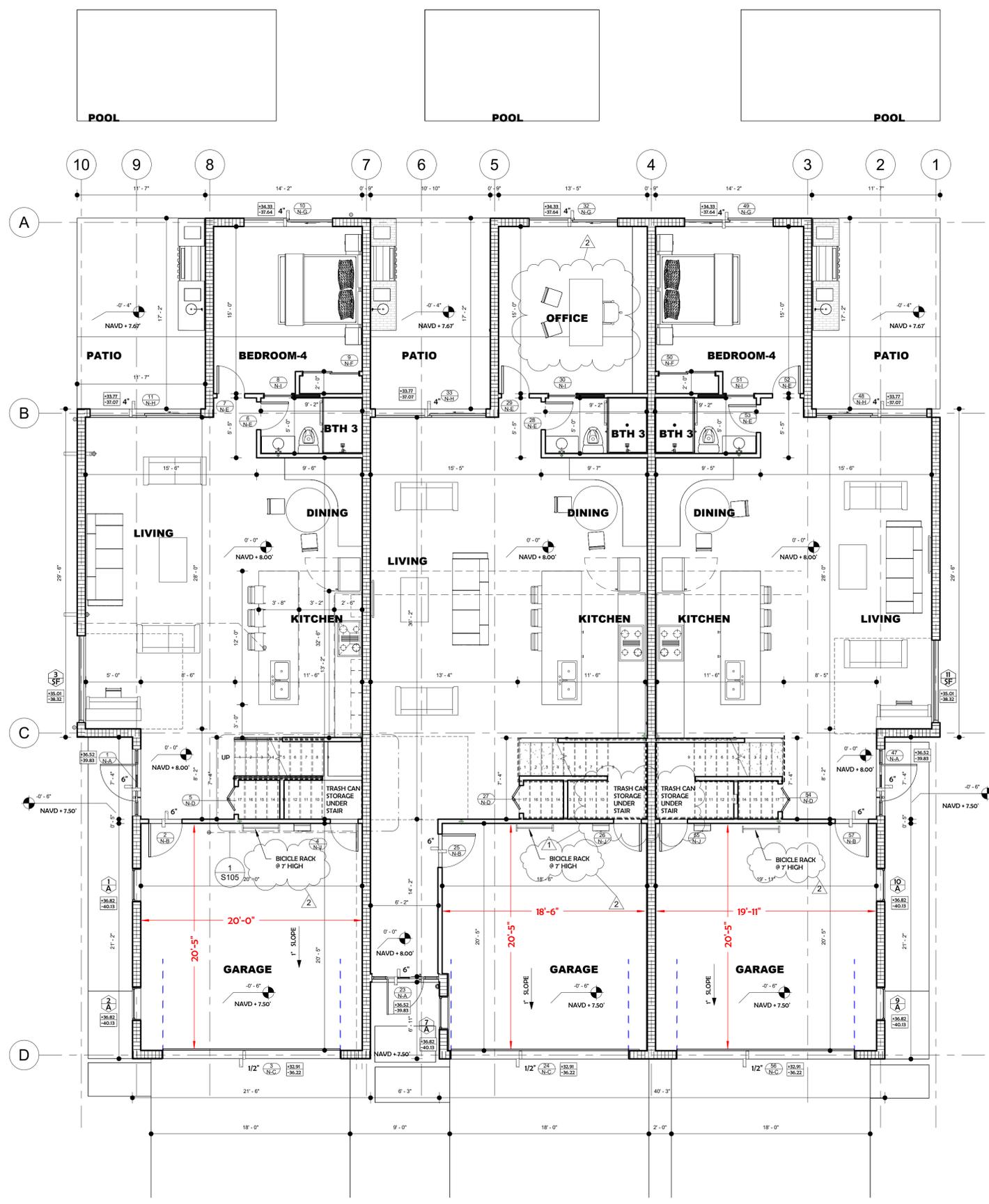
WALL LEGEND

	NEW typ PARTITION METAL STUDS
	NEW 8" CMU WALL

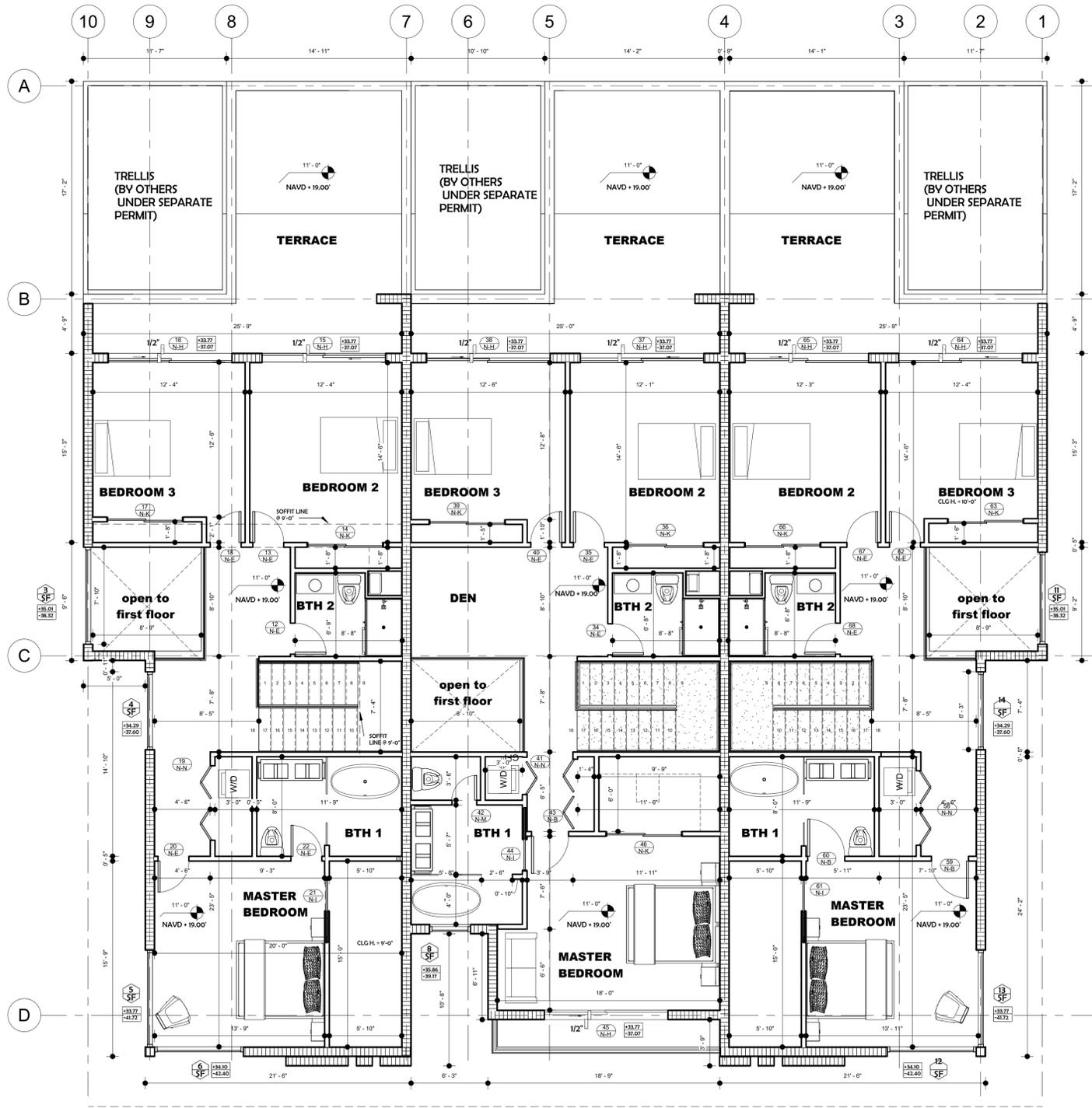
ALL WET AREAS, USE 1/2" DUROCK CEMENT BOARD AS BACKER FOR MARBLE AT 6" MINIMUM. OTHER FINISHES TO RECEIVE DENSHEILD TILE BACKER BOARD

SPACE	FLOOR	INTERIOR WALLS	CEILING (*)	REMARKS
BEDROOMS	CERAMIC TILE	• 4" STEEL STUD FRAMING • 1/2" GYPSUM BOARD • VINYL PAINT • WOOD BASE	• 1/2" GYPSUM BOARD DRYWALL CEILING	• COMPLETE BASE BOARD ALONG WALLS
BATHROOM	CERAMIC TILE	• 4" STEEL STUD FRAMING • 1/2" GYP. BD AND 1/2" DUROCK CEMENT BOARD ON WET AREAS • VINYL PAINT • CERAMIC TILE UP TO 6'-0" IN SHOWER • CERAMIC BASE	• 1/2" GYPSUM BOARD DRYWALL CEILING	• NON-SKID TILES
LIVING ROOM	CERAMIC TILE	• 4" STEEL STUD FRAMING • 1/2" GYPSUM BOARD • VINYL PAINT • WOOD BASE	• 1/2" GYPSUM BOARD DRYWALL CEILING	• COMPLETE BASE BOARD ALONG WALLS
KITCHEN	CERAMIC TILE	• 4" STEEL STUD FRAMING • 1/2" GYPSUM BOARD • VINYL PAINT • CERAMIC BASE & BACKSPLASH	• 1/2" GYPSUM BOARD DRYWALL CEILING	• NON-SKID TILES
OFFICE	CERAMIC TILE	• 4" STEEL STUD FRAMING • 1/2" GYPSUM BOARD • VINYL PAINT • WOOD BASE	• 1/2" GYPSUM BOARD DRYWALL CEILING	• COMPLETE BASE BOARD ALONG WALLS
GARAGE	CONCRETE SLAB	• 4" STEEL STUD FRAMING • 1/2" GYPSUM BOARD • VINYL PAINT • WOOD BASE	• 5/8" GYPSUM BOARD DRYWALL CEILING	• COMPLETE BASE BOARD ALONG WALLS

(*) EXTERIOR CEILING NOTE:
 5/8" STUCCO FINISH OVER DENSE GLASS SCREWED TO LIGHT FRAMING.



1ST FLOOR PLAN
 1 3/16" = 1'-0"



2ND FLOOR PLAN

1 3/16" = 1'-0"

WALL LEGEND

- NEW typ PARTITION METAL STUDS
- NEW 8" CMU WALL

WINDOW SCHEDULE

ASBLY	MARK	TYPE MARK	AREA	TYPE	WIDTH	HEIGHT	WIND LOAD REQUIRED	WIND LOAD NOA	NOA	UNIT
1	1	A	24' SF	FIXED WINDOW	3'	8'	36,82 / -40,13	60,00 / -80,00	22-0105.01	1
	2	A	24' SF	FIXED WINDOW	3'	8'	36,82 / -40,14	60,00 / -80,00	22-0105.01	1
3	3.1	SF	49' SF	GLAZED	7'	7'	35,01 / -38,32	80,00 / -105,00	22-0105.01	1
	3.2	SF	49' SF	GLAZED	7'	7'	35,01 / -38,33	80,00 / -105,00	22-0105.01	
	3.3	SF	49' SF	GLAZED	7'	7'	35,01 / -38,34	80,00 / -105,00	22-0105.01	
4	4	SF	58,5' SF	GLAZED	6,5'	9'	34,29 / -37,60	140,2 / -140,2	20-0519.06	1
	5	SF	72' SF	GLAZED	8'	9'	33,77 / -41,72	108,3 / -108,3	20-0519.06	1
	6	SF	63' SF	GLAZED	7'	9'	34,10 / -42,40	121,8 / -121,8	20-0519.06	1
	7	A	24' SF	FIXED WINDOW	3'	8'	36,82 / -40,13	60,00 / -80,00	22-0105.01	2
	8	SF	31,5' SF	GLAZED	3,5'	9'	35,86 / -39,17	60,00 / -70,60	22-0105.01	2
	9	A	24' SF	FIXED WINDOW	3'	8'	36,82 / -40,13	60,00 / -80,00	22-0105.01	3
	10	A	24' SF	FIXED WINDOW	3'	8'	36,82 / -40,14	60,00 / -80,00	22-0105.01	3
11.1	11.1	SF	49' SF	GLAZED	7'	7'	35,01 / -38,32	80,00 / -105,00	22-0105.01	3
	11.2	SF	49' SF	GLAZED	7'	7'	35,01 / -38,33	80,00 / -105,00	22-0105.01	
	11.3	SF	49' SF	GLAZED	7'	7'	35,01 / -38,34	80,00 / -105,00	22-0105.01	
12	12	SF	63' SF	GLAZED	7'	9'	34,10 / -42,40	121,8 / -121,8	20-0519.06	3
	13	SF	72' SF	GLAZED	8'	9'	33,77 / -41,72	108,3 / -108,3	20-0519.06	3
	14	SF	58,5' SF	GLAZED	6,5'	9'	34,29 / -37,60	140,2 / -140,2	20-0519.06	3

DOOR SCHEDULE 1

Mark	Type Mark	Width	Height	Wind pressures/Required	Wind pressures NOA	NOA	Manufacturer	Material	Unit
1	N-A	3'-0"	9'-0"	+36.82 / -40.13	+60.00 / -60.00	18-0116.10	U.S. ALUMINIUM (FL)	ALUMINIUM	1
2	N-B	3'-0"	7'-0"	N.A.	N.A.	N.A.		WOOD	1
3	N-C	16'-0"	7'-1"	+32.91 / -36.22	+48.00 / -52.00	20-1015.18	Amarr Garage Doors dba	ALUMINIUM	1
4	N-J	2'-6"	3'-4"	N.A.	N.A.	N.A.		WOOD	1
5	N-D	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	1
6	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	1
7	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	1
8	N-I	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	1
9	N-F	5'-0"	6'-8"	N.A.	N.A.	N.A.		WOOD	1
10	N-G	8'-0"	9'-0"	+34.33 / -37.64	+100.0 / -100.0	19092.1	Mr-Glass Doors & Windows	ALUMINIUM	1
11	N-H	10'-0"	9'-0"	+33.77 / -37.07	+110.8 / -129.2	19092.1	Mr-Glass Doors & Windows	ALUMINIUM	1
12	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	1
13	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	1
14	N-K	6'-0"	7'-0"	N.A.	N.A.	N.A.		WOOD	1
15	N-H	10'-0"	9'-0"	+33.77 / -37.07	+110.8 / -129.2	19092.1	Mr-Glass Doors & Windows	ALUMINIUM	1
16	N-H	10'-0"	9'-0"	+33.77 / -37.07	+110.8 / -129.2	19092.1	Mr-Glass Doors & Windows	ALUMINIUM	1
17	N-K	6'-0"	7'-0"	N.A.	N.A.	N.A.		WOOD	1
18	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	1
19	N-N	3'-0"	6'-8"	N.A.	N.A.	N.A.	Typhoon	WOOD	1
20	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	1
21	N-I	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	1
22	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	1
113	N-N	3'-0"	6'-8"	N.A.	N.A.	N.A.	Typhoon	WOOD	1

Grand total: 23

DOOR SCHEDULE 2

Mark	Type Mark	Width	Height	Wind pressures/Required	Wind pressures NOA	NOA	Manufacturer	Material	Unit
23	N-A	3'-0"	9'-0"	+36.82 / -40.13	+60.00 / -60.00	18-0116.10	U.S. ALUMINIUM (FL)	ALUMINIUM	2
24	N-C	16'-0"	7'-1"	+32.91 / -36.22	+48.00 / -52.00	20-1015.18	Amarr Garage Doors dba	ALUMINIUM	2
25	N-B	3'-0"	7'-0"	N.A.	N.A.	N.A.		WOOD	2
26	N-J	2'-6"	3'-4"	N.A.	N.A.	N.A.		WOOD	2
27	N-D	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	2
28	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	2
29	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	2
30	N-I	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	2
31	N-F	5'-0"	6'-8"	N.A.	N.A.	N.A.		WOOD	2
32	N-G	8'-0"	9'-0"	+34.33 / -37.64	+100.0 / -100.0	19092.1	Mr-Glass Doors & Windows	ALUMINIUM	2
33	N-H	10'-0"	9'-0"	+33.77 / -37.07	+110.8 / -129.2	19092.1	Mr-Glass Doors & Windows	ALUMINIUM	2
34	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	2
35	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	2
36	N-K	6'-0"	7'-0"	N.A.	N.A.	N.A.		WOOD	2
37	N-H	10'-0"	9'-0"	+33.77 / -37.07	+110.8 / -129.2	19092.1	Mr-Glass Doors & Windows	ALUMINIUM	2
38	N-H	10'-0"	9'-0"	+33.77 / -37.07	+110.8 / -129.2	19092.1	Mr-Glass Doors & Windows	ALUMINIUM	2
39	N-K	6'-0"	7'-0"	N.A.	N.A.	N.A.		WOOD	2
40	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	2
41	N-N	3'-0"	6'-8"	N.A.	N.A.	N.A.	Typhoon	WOOD	2
42	N-M	2'-0"	7'-0"	N.A.	N.A.	N.A.		WOOD	2
43	N-B	3'-0"	7'-0"	N.A.	N.A.	N.A.		WOOD	2
44	N-I	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	2
45	N-H	10'-0"	9'-0"	+33.77 / -37.07	+110.8 / -129.2	19092.1	Mr-Glass Doors & Windows	ALUMINIUM	2
46	N-K	6'-0"	7'-0"	N.A.	N.A.	N.A.		WOOD	2

Grand total: 24

DOOR SCHEDULE 3

Mark	Type Mark	Width	Height	Wind pressures/Required	Wind pressures NOA	NOA	Manufacturer	Material	Unit
47	N-A	3'-0"	9'-0"	+36.82 / -40.13	+60.00 / -60.00	18-0116.10	U.S. ALUMINIUM (FL)	ALUMINIUM	3
48	N-H	10'-0"	9'-0"	+33.77 / -37.07	+110.8 / -129.2	19092.1	Mr-Glass Doors & Windows	ALUMINIUM	3
49	N-G	8'-0"	9'-0"	+34.33 / -37.64	+100.0 / -100.0	19092.1	Mr-Glass Doors & Windows	ALUMINIUM	3
50	N-F	5'-0"	6'-8"	N.A.	N.A.	N.A.		WOOD	3
51	N-I	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	3
52	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	3
53	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	3
54	N-D	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	3
55	N-J	2'-6"	3'-4"	N.A.	N.A.	N.A.		WOOD	3
56	N-C	16'-0"	7'-1"	+32.91 / -36.22	+48.00 / -52.00	20-1015.18	Amarr Garage Doors dba	ALUMINIUM	3
57	N-B	3'-0"	7'-0"	N.A.	N.A.	N.A.		WOOD	3
58	N-N	3'-0"	6'-8"	N.A.	N.A.	N.A.	Typhoon	WOOD	3
59	N-B	3'-0"	7'-0"	N.A.	N.A.	N.A.		WOOD	3
60	N-B	3'-0"	7'-0"	N.A.	N.A.	N.A.		WOOD	3
61	N-I	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	3
62	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	3
63	N-K	6'-0"	7'-0"	N.A.	N.A.	N.A.		WOOD	3
64	N-H	10'-0"	9'-0"	+33.77 / -37.07	+110.8 / -129.2	19092.1	Mr-Glass Doors & Windows	ALUMINIUM	3
65	N-H	10'-0"	9'-0"	+33.77 / -37.07	+110.8 / -129.2	19092.1	Mr-Glass Doors & Windows	ALUMINIUM	3
66	N-K	6'-0"	7'-0"	N.A.	N.A.	N.A.		WOOD	3
67	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	3
68	N-E	2'-6"	7'-0"	N.A.	N.A.	N.A.		WOOD	3
114	N-N	3'-0"	6'-8"	N.A.	N.A.	N.A.	Typhoon	WOOD	3

Grand total: 23

SKYLIGHT SCHEDULE

ASBLY	MARK	TYPE MARK	AREA	TYPE	WIDTH	HEIGHT	WIND LOAD REQUIRED	WIND LOAD NOA	NOA	UNIT
1	B	B	32' SF	SKYLIGHT	4'	8'	14,21 / -37,37	75,00 / -75,00	FL8735-R3	1
2	B	B	64' SF	SKYLIGHT	4'	16'	13,21 / -36,37	75,00 / -75,00	FL8735-R3	2
3	B	B	32' SF	SKYLIGHT	4'	8'	14,21 / -37,37	75,00 / -75,00	FL8735-R3	3

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CLIENT NAME AND ADDRESS:
LDA VENTURES 5 LLC
 55 NE 25 STREET, WILTON MANORS FL 33305-1025
PROJECT:
3 TOWN HOUSES LDA 5

ORLANDO CASTRO
 ARCHITECT.
 AR98530
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 SUNRISE BLVD
 PLANTATION FL. 33322
 PH: (954) 474-0220
 EMAIL: america.gcs@hotmail.com

JOB NUMBER: 2022-0009
DATE: 12-05-2022
DRAWN BY: OCS
CHECKED BY: Orlando C.

REVISIONS
 1: FOR DRC MEETING 01-16-23
 2: FOR DRC MEETING 04-11-23

SECOND FLOOR PLAN

SHEET

A103

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 55 NE 25 STREET, WILTON MANORS FL 33305-1025
PROJECT:
3 TOWN HOUSES LDA 5

ORLANDO CASTRO
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DATE: 12-05-2022
DRAWN BY: OCS
CHECKED BY: Orlando C.

REVISIONS
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 2: FOR DRC MEETING 04-11-23

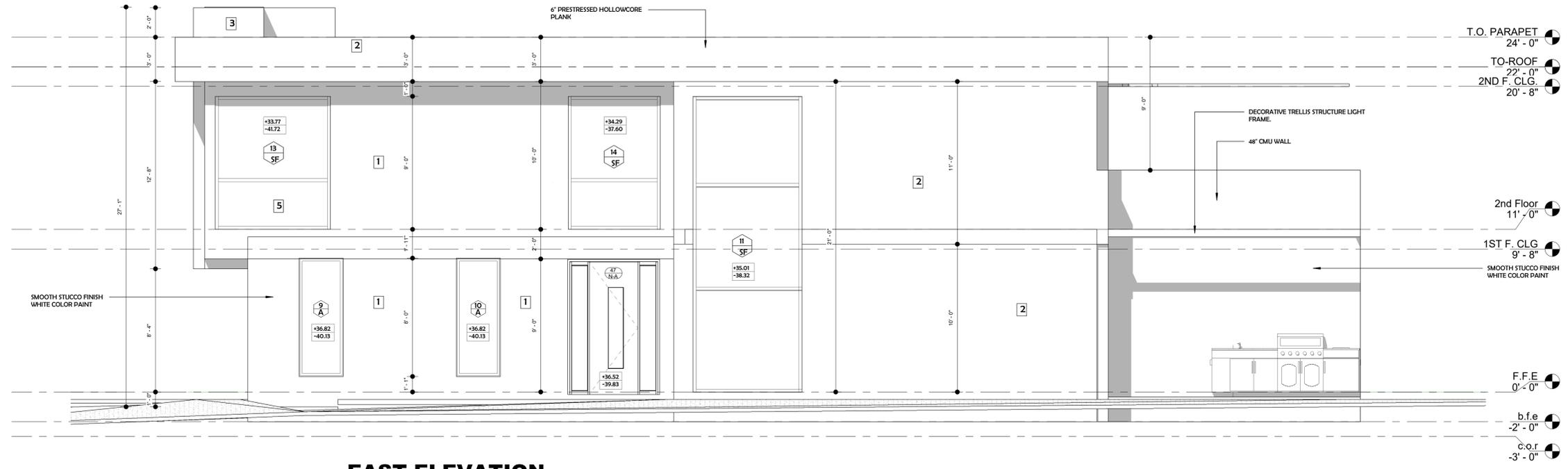
EAST & NORTH ELEVATIONS

SHEET

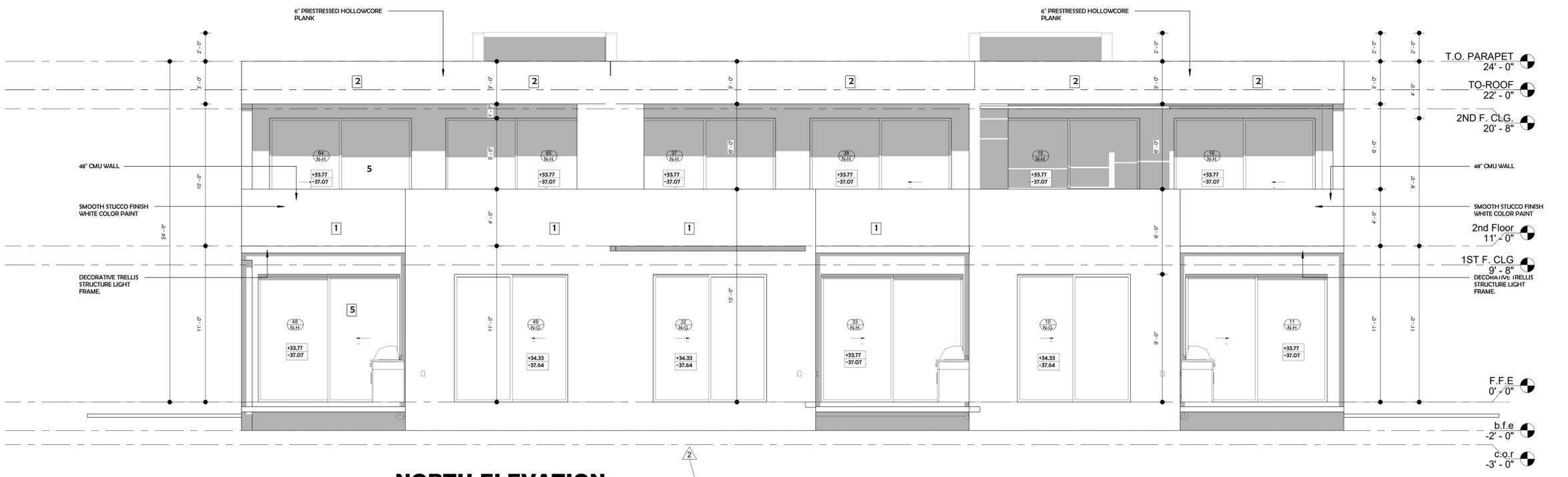
A105

OF

ARCHITECT



EAST ELEVATION
 1 1/4" = 1'-0"



NORTH ELEVATION
 2 1/4" = 1'-0"

EXTERIOR FACADES FINISH SCHEDULE
 "EXAMPLES OF FACADE FINISHES COLORS PROVIDED ARE FOR ILLUSTRATIVE PURPOSES ONLY."

No.	ITEM	SPECS.	COLOR / MATERIAL	
1	GENERAL EXTERIOR WALLS	CBS WALLS WITH SMOOTH STUCCO FINISH	BENJAMIN MOORE OC-65 (CHANTILLI LACE)	
2	GENERAL EXTERIOR WALLS	CBS WALLS WITH SMOOTH STUCCO FINISH	BENJAMIN MOORE CW-685 (AMBLER SLATE)	
3	EXTERIOR WALLS	NATURAL SLATE LEDGE STONE WALL CLADDING STONE FIREPLACE SURROUND	6" X 24" NATURAL SLATE GRAY TILE (HORIZ)	
4	RAILINGS	POWDER COATED ALUMINUM RAILINGS	TRIPLE BRONZE (UMB-4548) PRISMATICS POWDERS	
5	GLAZING	COLORED GLAZING / TINTED FLOAT (REFLECTIVE)	BLUE TINTED (REFLECTIVE) W/ BRONZE COLOR FRAME	

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CLIENT NAME AND ADDRESS:
LDA VENTURES 5 LLC
 55 NE 25 STREET, WILTON MANORS FL 33305-1025
PROJECT:

3 TOWN HOUSES LDA 5

ORLANDO CASTRO
 ARCHITECT.
 AR98530

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PH: (954) 474-0220
EMAIL: america.gcs@hotmail.com

JOB NUMBER: 2022-0009
DATE: 12-05-2022
DRAWN BY: OCS
CHECKED BY: Orlando C.

REVISIONS
 1: FOR DRC MEETING 01-16-23
 2: FOR DRC MEETING 04-11-23

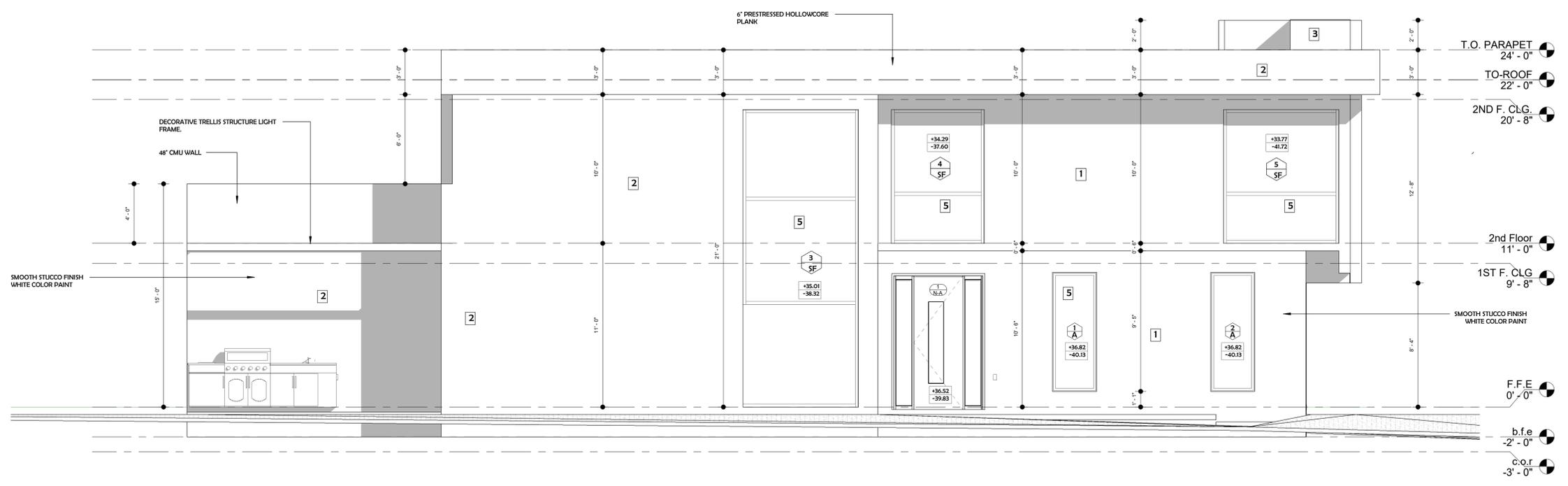
WEST & SOUTH ELEVATIONS

SHEET

A106

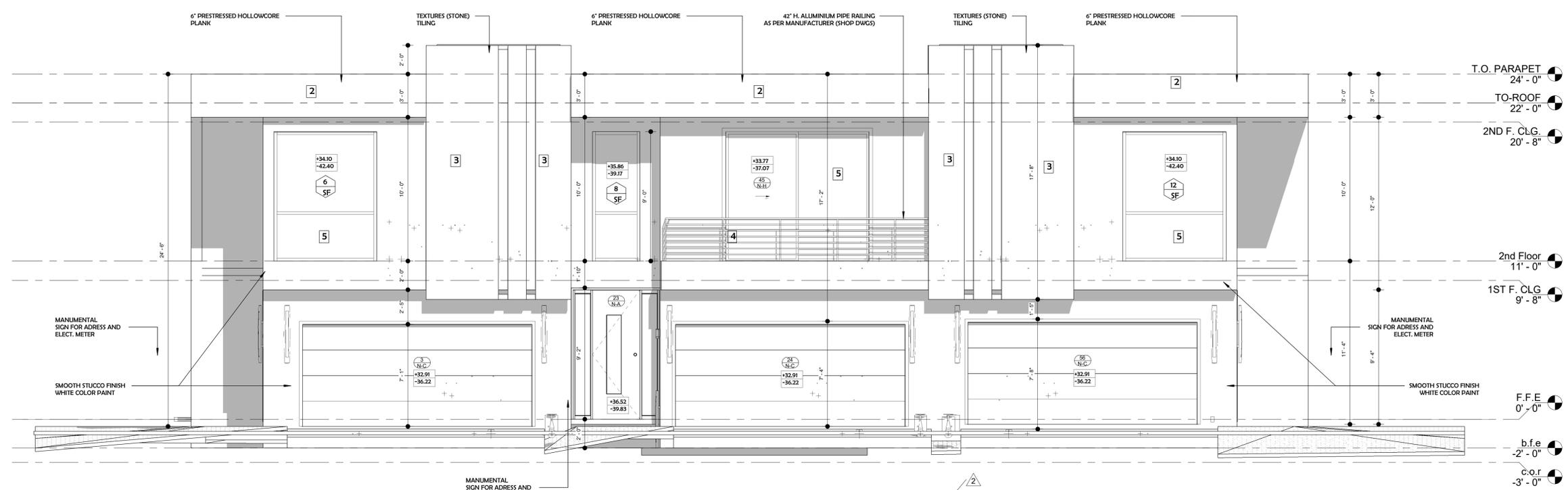
OF

ARCHITECT



WEST ELEVATION

1
 1/4" = 1'-0"



SOUTH ELEVATION

2
 1/4" = 1'-0"

EXTERIOR FACADES FINISH SCHEDULE

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4	RAILINGS	POWDER COATED ALUMINUM RAILINGS	TRIPLE BRONZE (UMB-4548) PRISMATICS POWDERS	
4	GLAZING	COLORED GLAZING / TINTED FLOAT (REFLECTIVE)	BLUE TINTED (REFLECTIVE) W/ BRONCE COLOR FRAME	

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 LDA VENTURES 5 LLC
 55 NE 25 STREET, WILTON MANORS FL 33305-1025
PROJECT:
3 TOWN HOUSES LDA 5

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JOB NUMBER:	2022-0009
DATE:	12-05-2022
DRAWN BY:	OCS
CHECKED BY:	Orlando C.

REVISIONS	
1:	FOR DRC MEETING 01-16-23
2:	FOR DRC MEETING 04-11-23

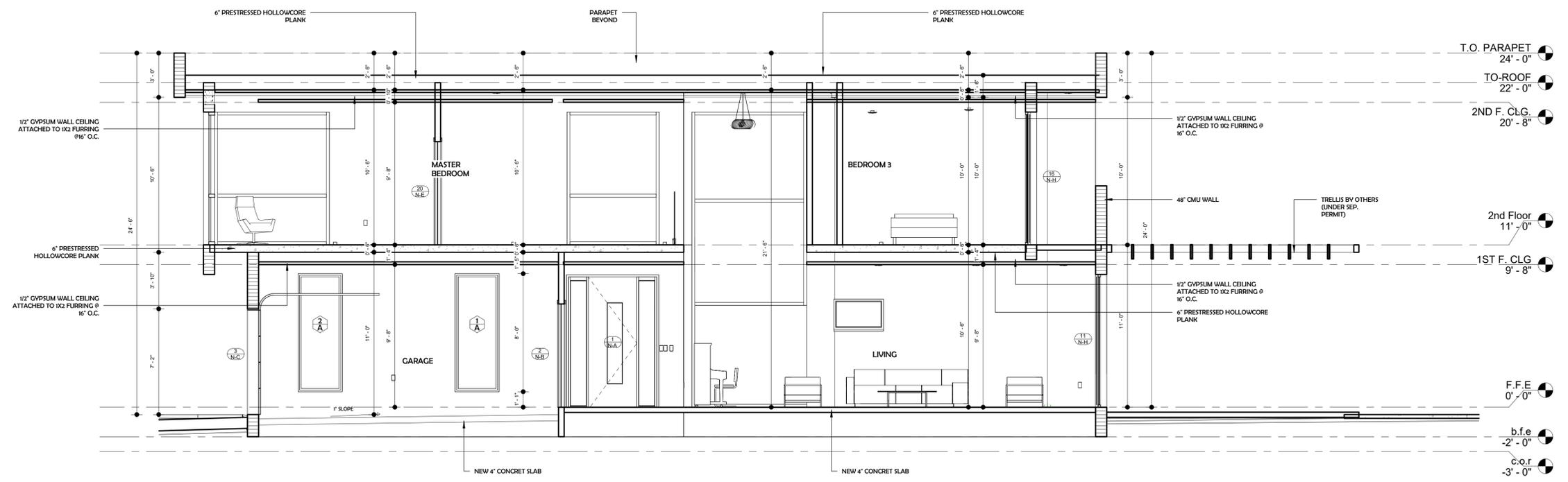
SECTIONS PLAN

SHEET

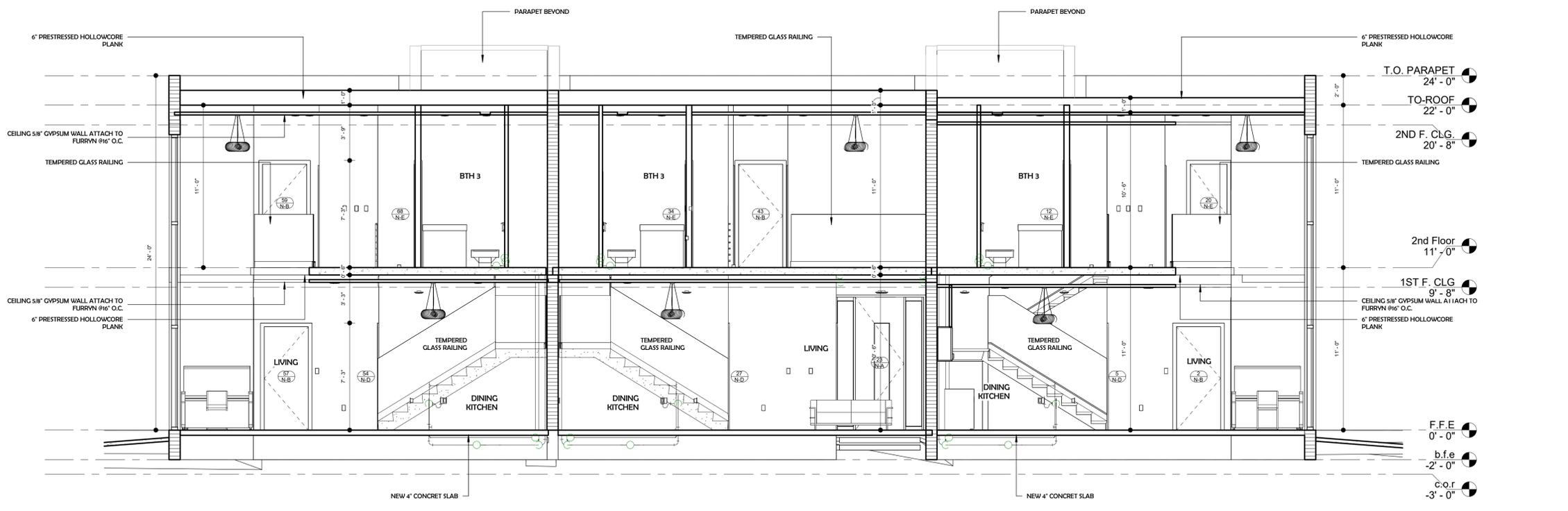
A107

OF

ARCHITECT



SECTION A-A
 1 1/4" = 1'-0"

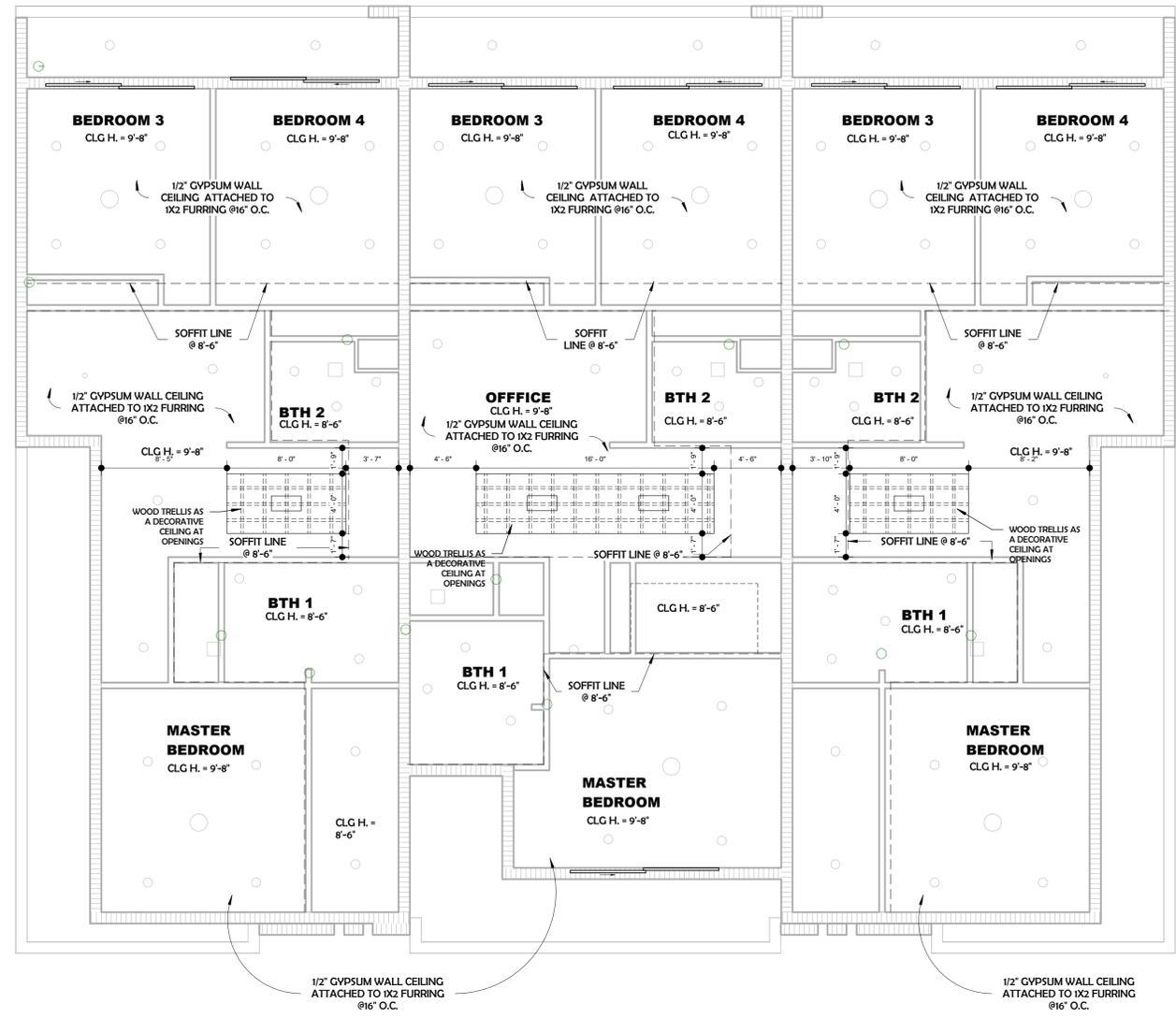


SECTION B-B
 2 1/4" = 1'-0"



FIRST FLOOR REFLECTED CEILING PLAN

1 3/16" = 1'-0"



SECOND FLOOR REFLECTED CEILING PLAN

2 3/16" = 1'-0"

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 55 NE 25 STREET, WILTON MANORS FL 33305-1025
PROJECT:

3 TOWN HOUSES LDA 5

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JOB NUMBER:	2022-0009
DATE:	12-05-2022
DRAWN BY:	OCS
CHECKED BY:	Orlando C.

REVISIONS	
1:	FOR DRC MEETING 01-16-23
2:	FOR DRC MEETING 04-11-23

REFLECTED
 CEILINGS 1ST &
 2ND FLOOR
 PLANS

SHEET

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 55 NE 25 STREET, WILTON MANORS FL 33305-1025
PROJECT:

3 TOWN HOUSES LDA 5

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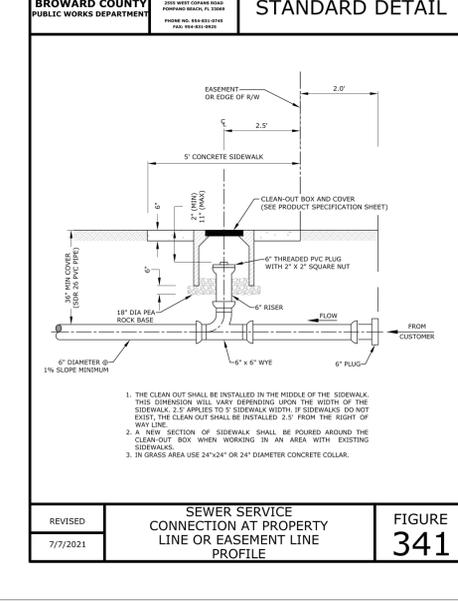
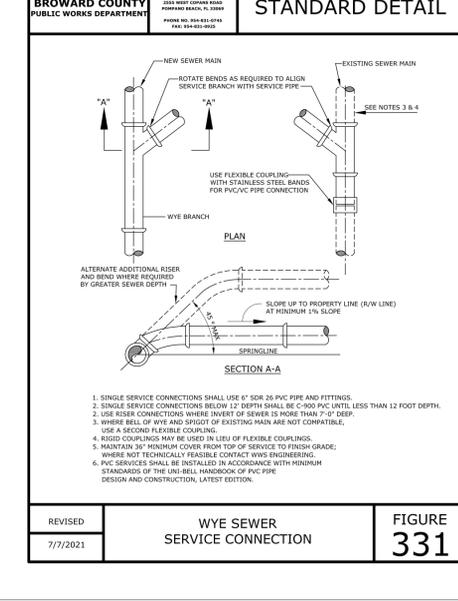
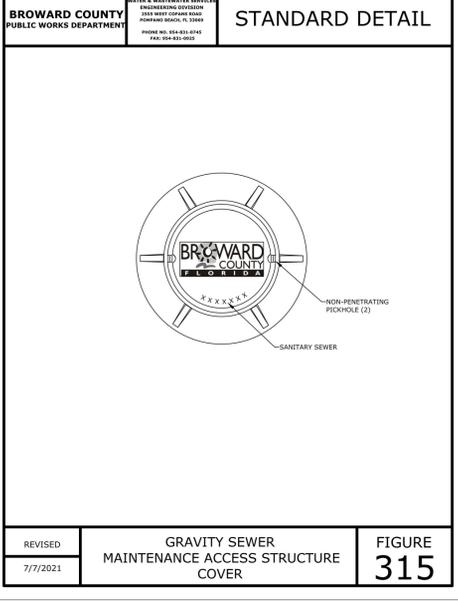
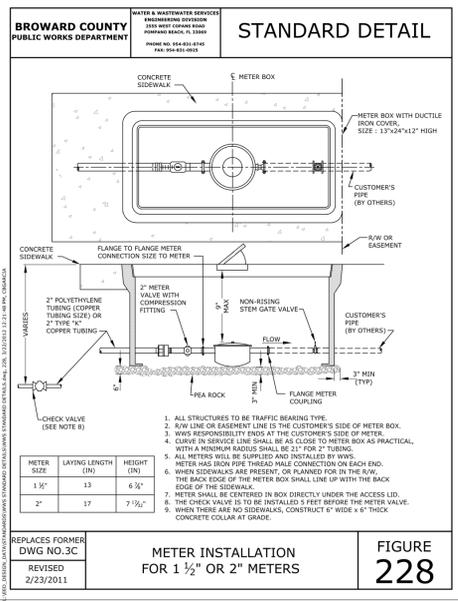
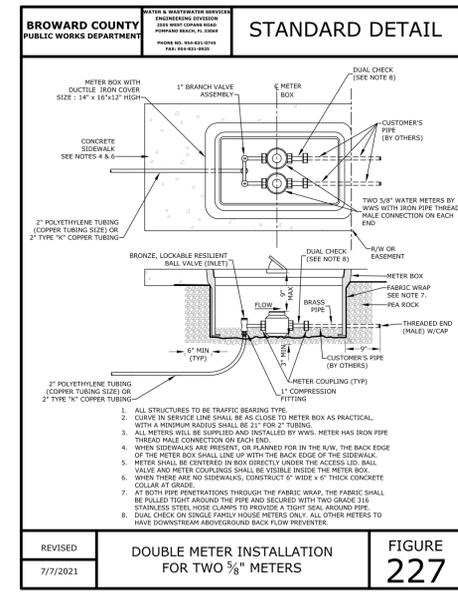
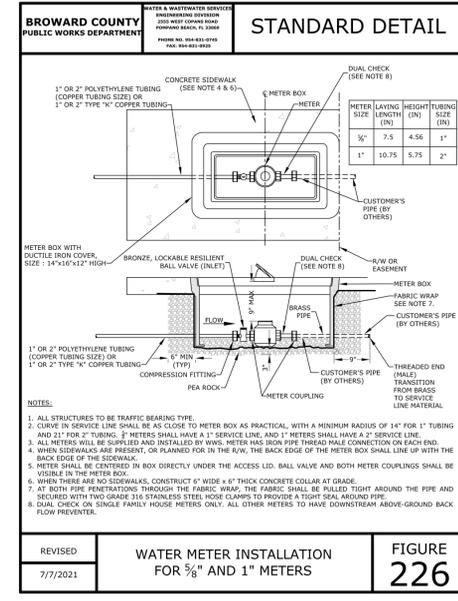
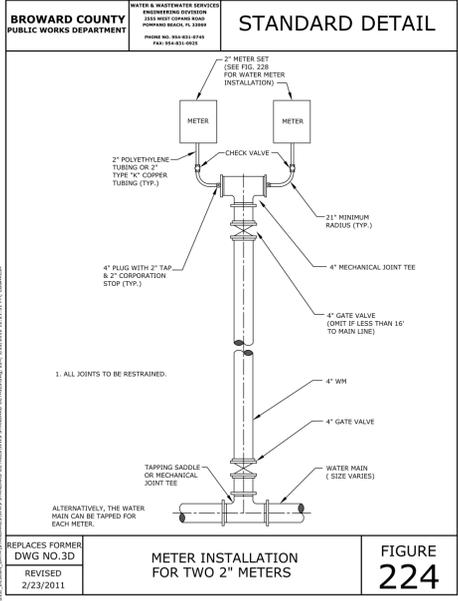
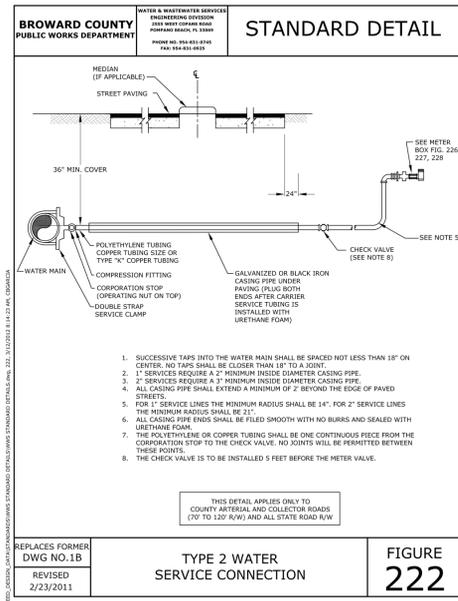
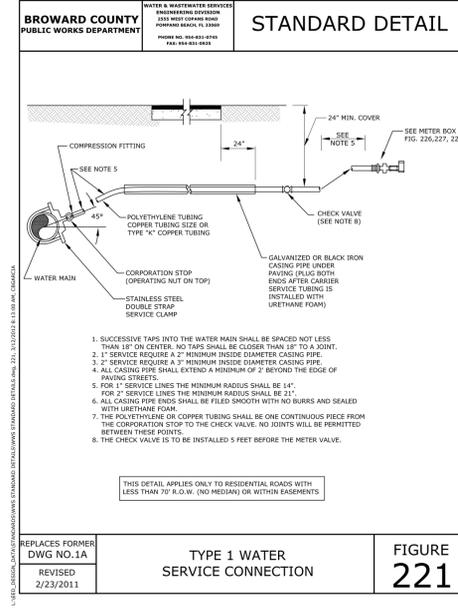
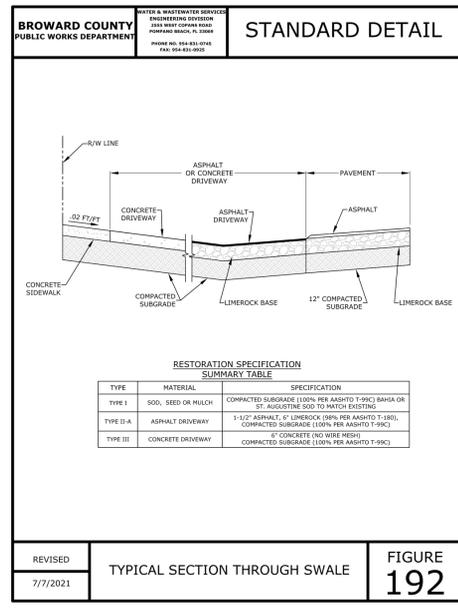
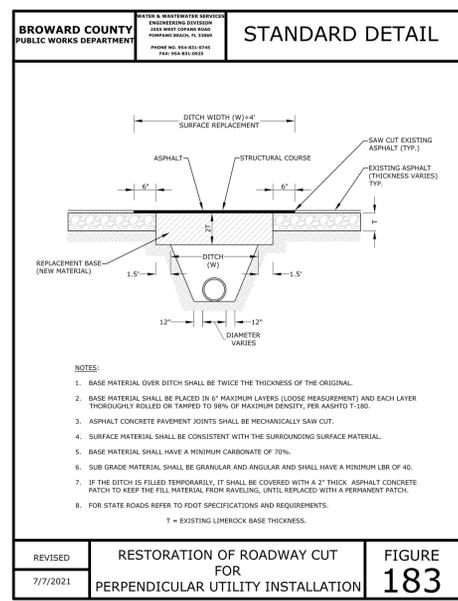
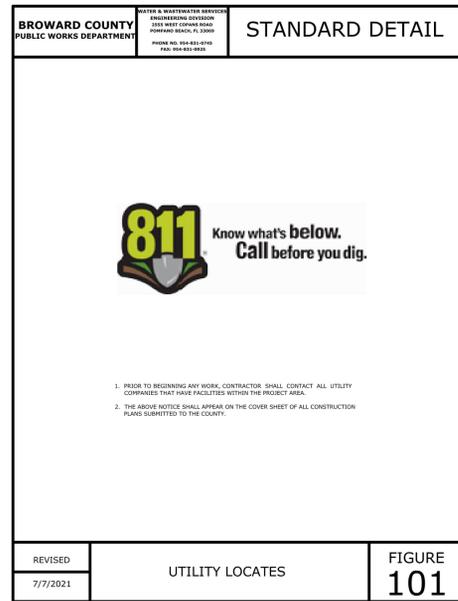
JOB NUMBER:	2022-0009
DATE:	12-05-2022
DRAWN BY:	OCS
CHECKED BY:	Orlando C.

REVISIONS	
1:	FOR DRC MEETING 01-16-23
2:	FOR DRC MEETING 04-11-23

RENDERS 2

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CLIENT NAME AND ADDRESS:
LDA VENTURES 5 LLC
65 NE 25 STREET, WILTON MANORS FL 33305-4025
PROJECT:

3 TOWN HOUSES LDA 5

ORLANDO CASTRO
ARCHITECT.
AR98530

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SUNRISE BLVD
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PH: (954) 474-0220
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REVISIONS

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ENGINEERING DETAILS

SHEET

ENG 102

OF

ARCHITECT

NO PART OF THIS PLAN OR DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPYING, RECORDING OR ANY INFORMATION RETRIEVAL SYSTEMS) WITHOUT THE WRITTEN APPROVAL OF LUIS C. MARIY ENGINEER AND ARCHITECT. WORKS OF THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS DEPICTED ON THESE DRAWINGS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES FOUND AND ASSUMES NO LIABILITY FOR THE UNAUTHORIZED USE OF THESE PLANS, SPECIFICATIONS AND CONDITIONS.

CLIENT NAME AND ADDRESS:
LDA VENTURES 5 LLC
 55 NE 25 STREET, WILTON MANORS FL 33305-1025
PROJECT:

3 TOWN HOUSES LDA 5

ORLANDO CASTRO
 ARCHITECT.
 AR98530

ADDRESS: 9039 WEST
SUNRISE BLVD
PLANTATION FL. 33322
PH: (954) 474-0220
EMAIL: america.gcs@hotmail.com

JOB NUMBER: 2022-0009
DATE: 12-05-2022
DRAWN BY: OCS
CHECKED BY: Orlando C.

REVISIONS

1: FOR DRC MEETING 01-16-23
 2: FOR DRC MEETING 04-11-23

SWALE AND GRADING PLAN

SHEET

ENG 103

OF

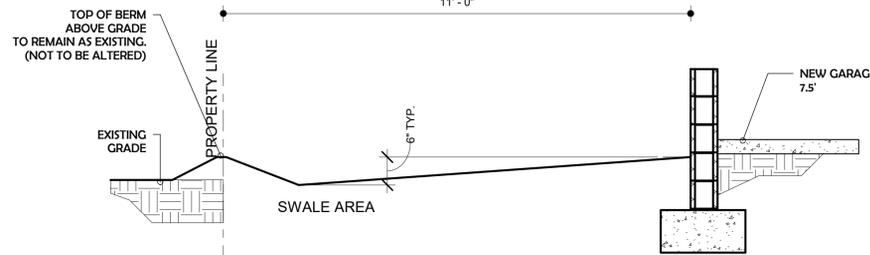
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FIRE HYDRANT LOCATION

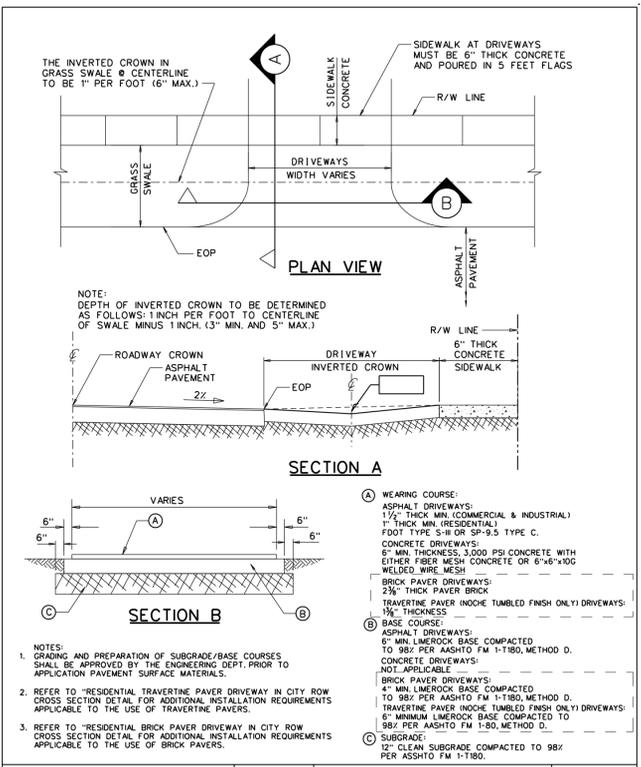
RAINFALL STORM DRAINAGE CALCULATIONS	
LOT AREA	12497 SF
BUILDING ROOF AREA	4987 SF
TOTAL IMPERVIOUS AREA	7493.96 SF
TOTAL PERVIOUS AREA (GRASS)	5003.04 SF
5 YR HOURLY RAINFALL RATE	3.2 INCH
PROPOSED SWALE AREA	1635 SF
PROPOSED SWALE DEPTH	6 INCH
PROPOSED PAVER DRIVEWAYS AREA	1115 SF
PROPOSED SWIMMING POOL AREA	517 SF

NOTE:
 * ALL ROOF DRAINAGE WATER TO BE DISCHARGED INTO PERVIOUS AREA (SWALES)
 * DRIVEWAYS & WALKWAYS RAINFALL WATER TO BE DISCHARGE INTO DRIVEWAY SWALE AT ROW NE 25TH STREET.



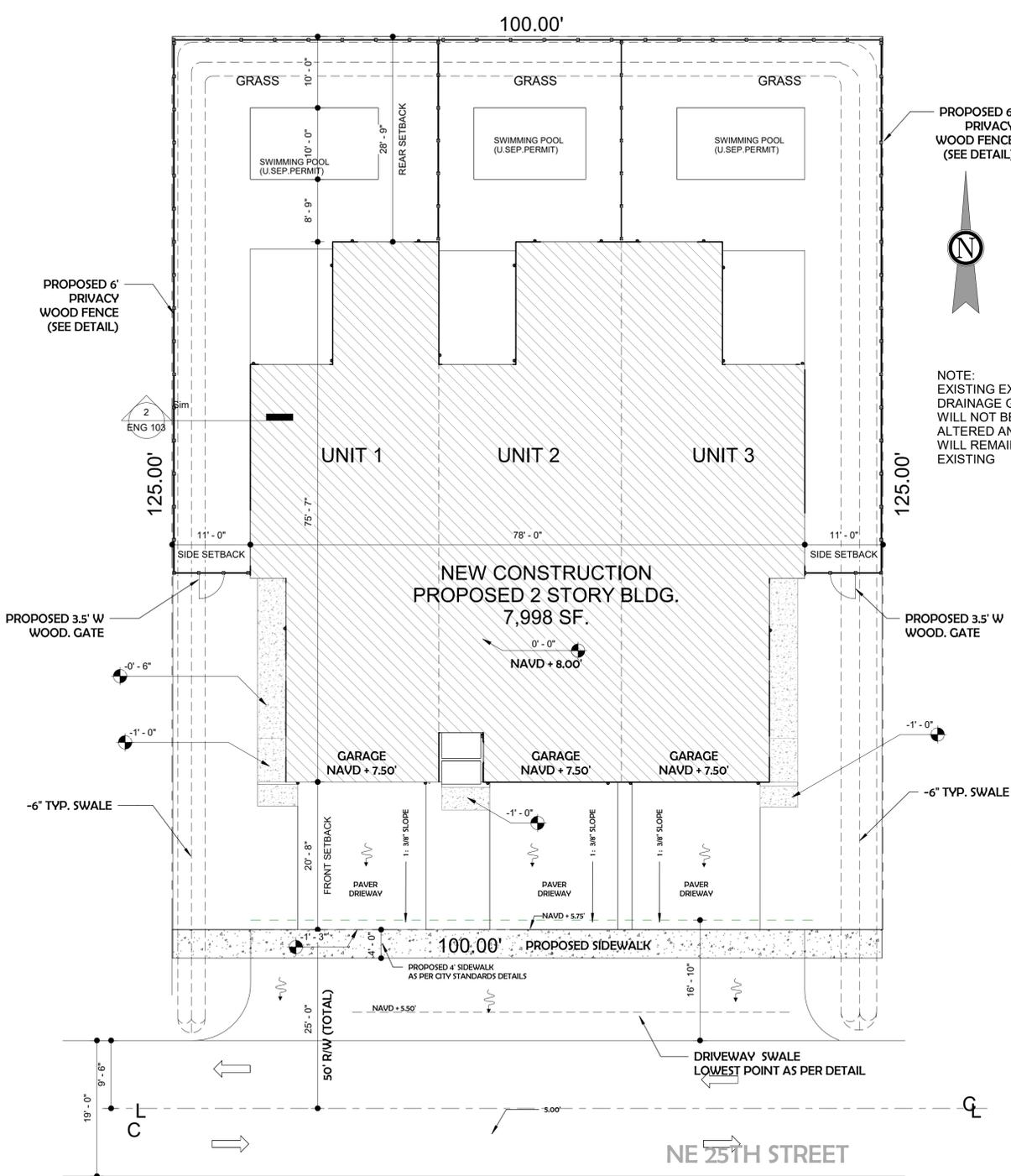
TYP. SWALE DETAIL

2 1/2" = 1'-0"



DRIVEWAY STANDARD DETAIL

4 1 1/2" = 1'-0"



SWALE AND GRADING PLAN

1 1" = 10'-0"

P.A.I.D. STATEMENT NOTES

1. THE PURPOSE OF THE NATURAL AREAS IS TO PROVIDE FLOOD PROTECTION THROUGH PERIODIC INUNDATION. ANY IMPROVEMENTS, MATERIALS OR LANDSCAPING PLACED WITHIN THE NATURAL AREA MAY BE SUBJECT TO DAMAGE FROM PERIODIC INUNDATION.
2. PERIMETER AND ROADWAY SWALES AND CULVERTS SHALL BE CONSTRUCTED AND MAINTAINED BY OWNER IN ACCORDANCE WITH DISTRICT CRITERIA AND PRACTICE, AND SHALL REMAIN UNOBSTRUCTED AT ALL TIMES. IF A TEMPORARY OBSTRUCTION IS INEVITABLE, OWNER SHALL OBTAIN APPROVAL FROM THE DISTRICT FOR TEMPORARY OBSTRUCTION.
3. DURING THE IMPROVEMENT OF THE PROPERTY FROM LAND IN ITS NATURAL CONDITION TO DEVELOPED LAND, OWNER MAY BE REQUIRED TO IMPROVE THE SWALES BETWEEN THE PROPERTY AND THE NEAREST DISTRICT CANAL / CULVERT.
4. PLACEMENT OF ANY PERMANENT MATERIAL OR IMPROVEMENTS WITHIN DISTRICT'S EASEMENTS, SWALES, AND THE NATURAL AREAS MAY BE PROHIBITED. SUCH PLACEMENT IS SUBJECT TO DISTRICT REVIEW, APPROVAL, AND / OR PERMIT IN ACCORDANCE WITH DISTRICT CRITERIA AND PRACTICE IN USE AT THE TIME THE PLACEMENT IS TO TAKE PLACE.

P.A.I.D. NOTE:

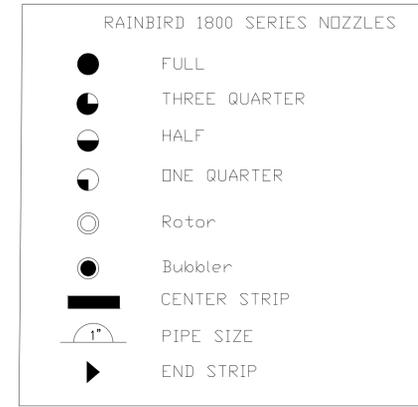
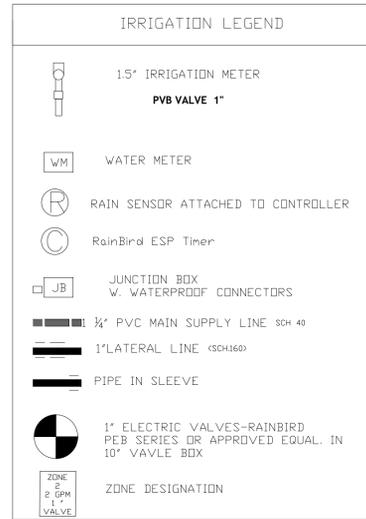
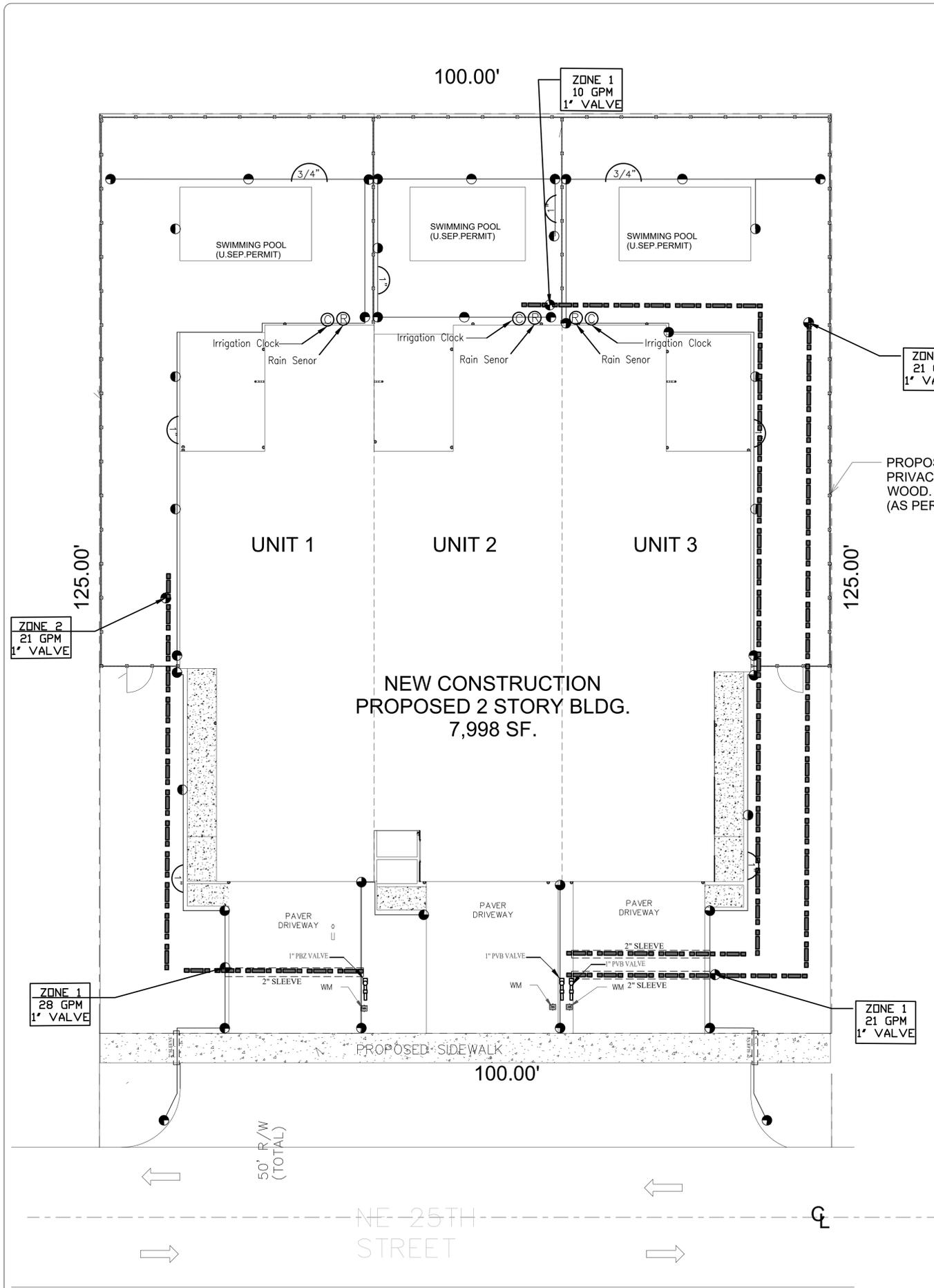
MAXIMUM SLOPES SHALL NOT EXCEED 4(H):1(V)

FLOOD INFORMATION

AS PER FEMA INTERACTIVE MAP, CITY OF WILTON MANORS / 12355 / FLORIDA NATIONAL FLOOD INSURANCE PROGRAM DELINEATES THE HEREIN DESCRIBED LAND TO BE WITHIN ZONE AH, ELEVATION 1.00 FT



NOTE:
 EXISTING EXTERIOR DRAINAGE GRADES WILL NOT BE ALTERED AND IT WILL REMAIN AS EXISTING



IRRIGATION NOTES:

1. The developer shall schedule a preconstruction meeting with the public works department plumbing inspector via the engineering department inspector prior to the commencement of the irrigation work. The developer, its Landscape architect, and its landscape contractor shall attend the meeting. The meeting shall be at a time and place acceptable to the inspector. The developer shall provide the landscape inspector with the contact information for its landscape architect, project manager, superintendent, and irrigation and landscape contractor at the meeting.
2. Developer shall submit a complete materials list and associate catalogue cuts for all manufactured materials to be incorporated in the work to the public works department prior to start of construction. The submittal shall be in bound form.
3. The work shall be constructed in accordance with the developers city approved plans, the city's irrigation and landscape standard drawings, the city approved irrigation and landscape materials list, the standard specification for public works construction, and these standards irrigation notes.
4. Review and approval of the developers plans by the city does not warrant that the plans are accurate and complete. The developer is solely responsible for accuracy and completeness of its drawing.
5. Irrigation plans are diagrammatic. The actual location of irrigation improvements shall be in planted areas where possible. Location of irrigation improvements are subjected to public works department approval prior to installation. Irrigation controllers shall be installed "outside" of irrigation coverage.
6. All threaded fitting require teflon tape.
7. Above ground irrigation system are not permitted.
8. Control wiring shall be color coded and labeled at the controller and all junctions.
9. Dedicated water and electrical services shall be provided for all irrigation systems and controllers. Contractor shall verify and coordinate locations of irrigation water services and irrigation controller electrical service location with other trades to ensure they correspond with irrigation water points of connection and controller location. Electrical and water feeds from private source are not allowed.

REVISION / DATE

EnviroScapes
4132 SW 51 St.
Dania Beach FL

TOWNHOMES
55 NE 25th Street
Wilton Manors, FL

DRAWN BY:	
CHECKED BY:	
JOB NUMBER:	3 TOWN
DATE:	1/18/2023



Scale 1/8" = 1'



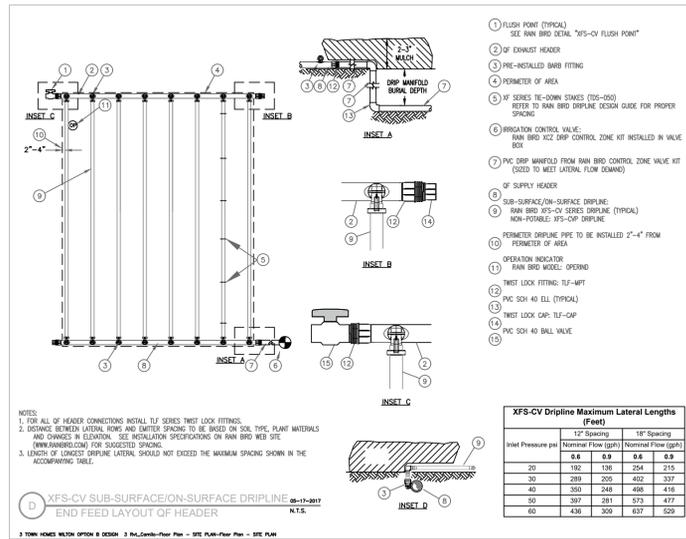
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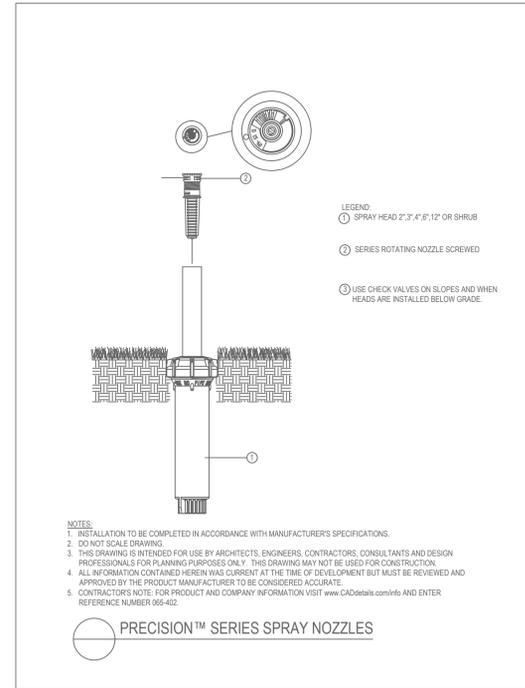
Rain Sensor



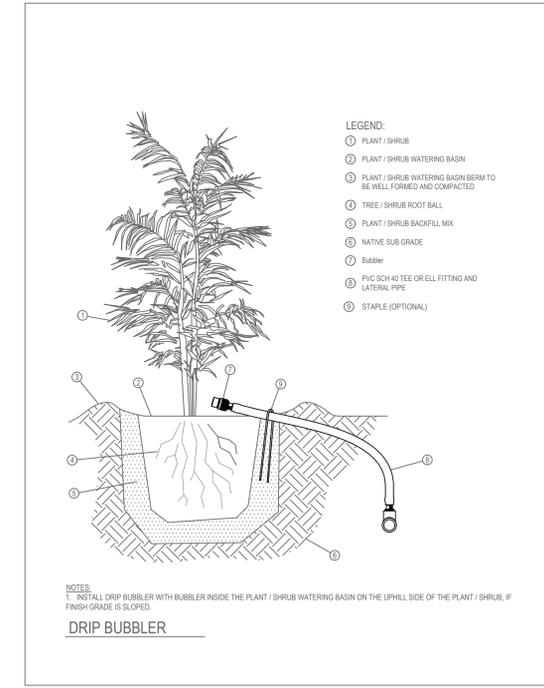
Drip Line



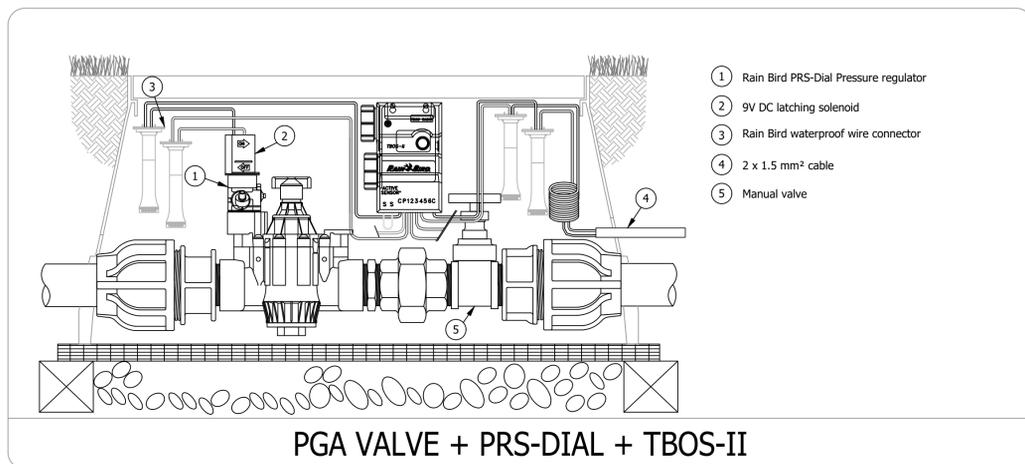
Pop-Up Sprinkler



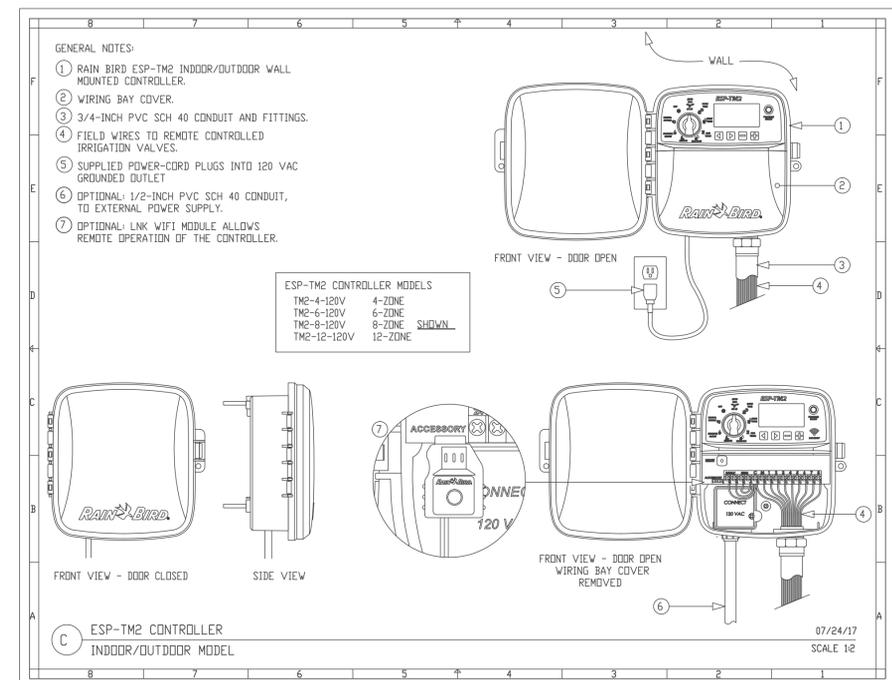
Bubbler



Irrigation Control



Timer



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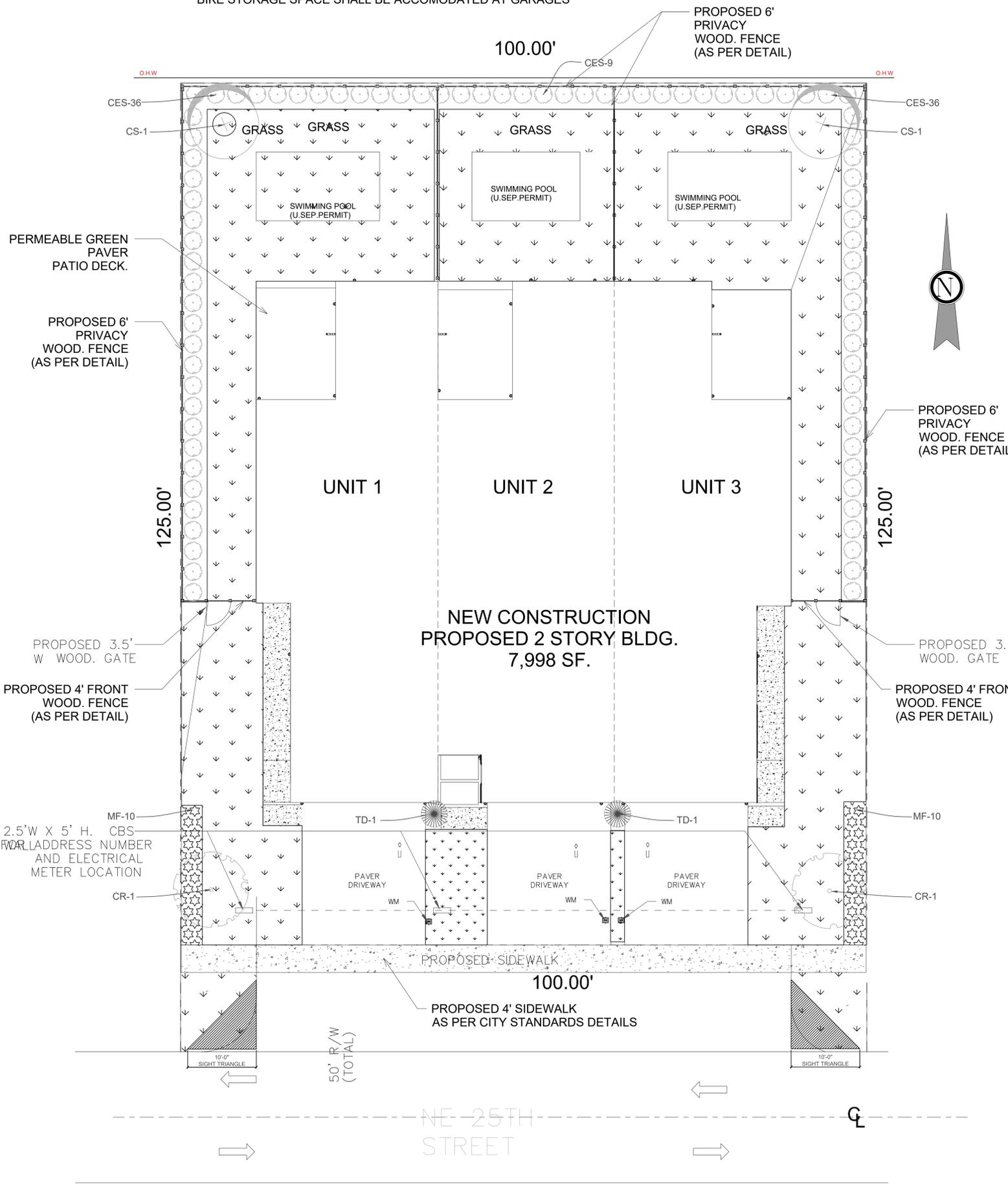
Scale 1/8" = 1'



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* BIKE STORAGE SPACE SHALL BE ACCOMODATED AT GARAGES



LANDSCAPE NOTES:

SITE CALCULATIONS	
TOTAL LOT AREA	12,497 SQFT
TOTAL BUILDING AREA	4,987 SQFT
TOTAL IMPERVIOUS AREA	7,493 SQFT
TOTAL PERVIOUS AREA	5,000 SQFT

WILTON MANORS ARTICLE 150-160 LANDSCAPE REQUIREMENTS

SITE TREES: Sec. 150-080.A
One tree for each fifteen hundred (1,500) square feet of permeable area
(4) TREES REQUIRED / (4) TREES PROVIDED

SITE Shrubs: Sec. 150-080.B
Twenty (20) shrubs or ground cover plantings for each tree required
(80) TREES REQUIRED / (103) TREES PROVIDED

60% TREES TO BE NATIVE - REQUIRED (3) PROVIDED (4) PROVIDED.
50% Shrubs TO BE NATIVE - REQUIRED (51) PROVIDED (103) PROVIDED.

TOTAL SOD AREA 35%

PLANT MATERIAL SCHEDULE

NUMBER SYMBOL	SYMBOL	NAME	COMMON NAME	SPECIFICATIONS	NATIVE	QUAN	Drought Tolerant
CR		Clusia rosea	Pitch Apple	12' HT. 3" Caliper, 6' Sprd	YES	2	Low
CS		Cordia sebestena	Orange Geiger	10' HT. 2" Caliper, 5' Sprd	Yes	2	Low
Shrubs and Groundcover							
MF		Myrcianthes fragrans	Simpson Stopper	24" HT. X 24" SPR., 24" O.C.	Yes	20	Medium
TD		Tripsacum dactyloides	Dwarf Fakahatchee grass	24" HT. X 24" SPR.	Yes	2	Low
CES		Conocarpus erectus	Green Buttonwood	24" HT. X 24" SPR. 36" O.C	Yes	81	Low
SOD		ST. AUGUSTINE FLORATAM	SODDED AREA	CONTRACTOR SHALL VERIFY QUANTITY			APPROX. 3,360 S.F.

NOTE: 2" OF SOIL SHALL BE ADDED UNDER ALL SOD

Broward County Mitigation

1. Tree replacement is required based on the canopy of the trees proposed for removal. This has been determined to be 3,424.17 square feet. In accordance with Section 27-408(j)(1)(b)(5), Broward County Code (BCC) an additional 50% replacement is required for a total of 5,136.25 credits. Please submit a landscape plan with a sufficient number of trees from the attached list to meet this requirement.

Proposed Trees to be installed:
 2X Live Oak 12' HT x 3" Caliper = 600 SQFT
 2X Pitch Apple 12' HT x 3" Caliper = 600 SQFT
 3X Orange Geiger 10' HT X 2" Caliper = 450 SQFT
 TOTAL SQFT TO BE INSTALLED 1,650 SQFT

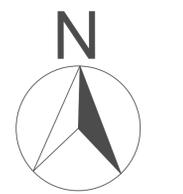
Mitigation owed 5,136.25 SQFT - Proposed Trees 1,650 SQFT = 3,486.25 SQFT
 Remaining 3,486.25 SQFT to be paid into TREE FUND.

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Scale 1/8" = 1'



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GENERAL PLANTING REQUIREMENTS

- 1-All sizes shown for plant material on the plans are to be considered Minimum.
- 2-All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.
- 3-All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees".
- 4-All material shall be installed as per CSI specifications. All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.
- 5-All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well-drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications. Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.
- 6-All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. Cypress bark mulch shall not be used.
- 7-All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.
- 8-All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source.
- 9-Each system shall be installed with a rain sensor.
- 10-It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods.
- 11-Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.
- 12-All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.
- 13-Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.
- 14-All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of landscape Architect
- 15-The plan takes precedence over the plant list.

SPECIAL INSTRUCTIONS

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sod areas as indicated on the planting plan shall receive Stenotaphrum secundatum, St. Augustine 'Palmetto' solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.

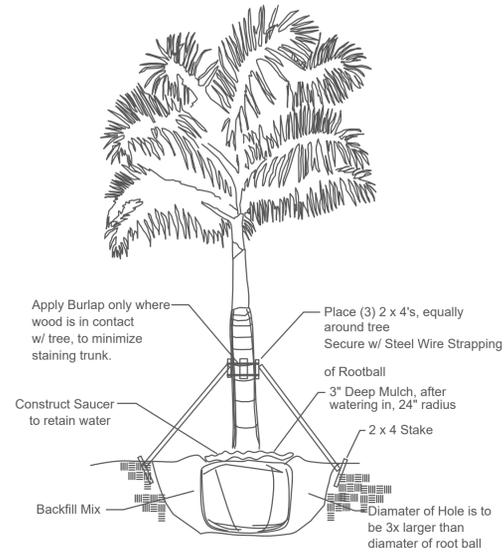
TREE RELOCATION

1) ROOT PREPARATION

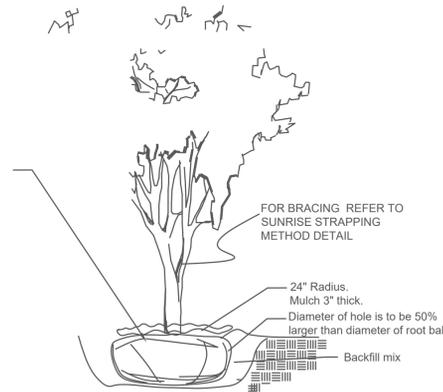
- A. Trees to be root pruned with clean, sharp equipment.
 1. Maintain root pruned materials by watering, weeding, mowing, spraying, fertilizing, and other horticulture practices.
 2. After root pruning, backfill with good rooting medium, fertilize with organic fertilizer to promote root growth.
 3. Mulch to reduce weeds, discourage foot traffic, conserve moisture, and minimize temperature fluctuation.

B. Root Ball Size Chart: Root ball sizes shall be according to minimum standards set forth in Grades and Standards for Nursery Plants Part II, Palms and Trees, Florida Department of Agriculture.

1. Trees-Minimum Ball Sizes:	DBH Minimum Ball Diameter
3-1/2" to 4" 28"	
4" to 4-1/2" 30"	
4-1/2" to 5" 32"	
5" to 5-1/2" 34"	
Larger sizes increase proportionally.	

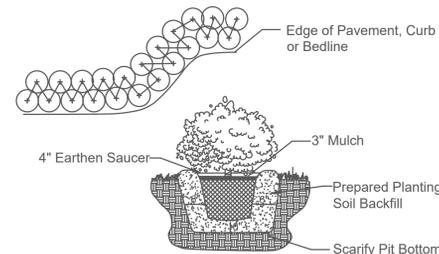


Tree Planting Detail
Tree Stakes are to be removed between 6-12 months by the Owner. NTS



Shrub & Groundcover Planting Detail

Note: All Shrubs And Groundcover Shall Be Triangular Spaced Along Straight Edges And Will Be Planted In Parallel Rows Along Curved Edges.



1. All Plants shall be Florida No.1 or better.
2. Landscape Contractor shall review plans and indicate any availability problems at time of bid. Landscape contractor shall be responsible bidding and installing all plantings as they are drawn on the plan, and shall verify the accuracy of the plant list vs the drawn plan, at the time of bid.
3. In the event that a certain specification is not able to be met, then contractor shall contact landscape architect to discuss alternatives.
4. Contractor shall be familiar w/ the City of Wilton Manors, Florida landscape code and shall comply with all of its applicable requirements.
5. Contractor shall verify all quantities indicated at time of bid.
6. Contractor shall provide unit prices at time of bid.
7. All contractors working on the project shall be licensed and fully insured as required.
8. The Property Owner is responsible for replacement of all dead plant material & for maintenance of the required irrigation system.
9. Tree and palm staking shall be removed between 6 and 12 months.
10. All prohibited exotic vegetation shall be removed from the site and it shall be maintained free of exotics in perpetuity.
11. The review and approval of improvement plans does not authorize the construction of required improvements which are inconsistent w/ existing easements of record.
12. Contractor to verify underground utilities with "Sunshine State One Call of Florida" 800-432-4770.
13. Contractor to verify property lines and setbacks before construction.
14. Contractor must have property lines staked and located, and must verify plan dimensions and field conditions are consistent.
15. All plant, trees, and palms shall be for guarantee 1 Year Warranty period begins at the time of project acceptance by the owner.
16. Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Wilton Manors of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.
17. Contractor shall maintain all plant material and beds must be kept weed free until accepted by owner.
18. Contractor shall maintain site in a clean fashion and shall remove any waste created by landscape installation construction.
19. All plant materials to be installed and maintained as per City of Wilton Manors
20. General/Site contractor shall make certain that all soil for planting areas shall be of suitable landscape quality fill. Soil shall be comprised of a sandy base, and have good organic and good percolation qualities.
21. General/Site contractor shall make certain all limerock and excessively compacted soils shall be removed from planting beds.
22. Landscape Contractor shall make certain that the site conditions meet to their satisfaction before installing plant material.
23. If Landscape Contractor has any concerns over the survivability of plant materials, he must inform the owner immediately.
24. All slopes steeper than 4:1 shall be planted with native vegetation
25. No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
26. Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.
27. This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Miam Beach Landscape Manual.
28. For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
29. Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.
30. Nursery Support Poles shall be removed at the Nursery, prior to delivery, and that trees delivered with the nursery poles will not be accepted; and therefore rejected, with the exception of the following tree species: Clusia rosea and Silver buttonwood trees

△	REVISION / DATE

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L-2