

A L L I C A A R C H I T E C T U R A L G R O U P

ROBERT C. ALLICA, ARCHITECT
2454 NORTHEAST 13 AVENUE
WILTON MANORS, FLORIDA 33305
V. 954.563.5320 F. 954.563.5308
WILTON MANORS, FLORIDA 33305

| |
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| REVISIONS |
|-----------|

NEW FREESTANDING BUILDING
HAMILL TIRE
2425 NORTH ANDREWS AVENUE
WILTON MANORS, FLORIDA

| | |
|-------------|-----|
| DRAWN BY | RCA |
| CHECKED BY | - |
| APPROVED BY | - |

| | |
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| PROJECT NO. | 16-006 rev |
| DATE | 02 / 11 / 21 |

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| SHEET NO. | 08 |
| OF | 1 |

Hamill Tire

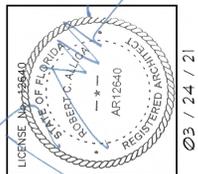
2425 North Andrews Avenue, Wilton Manors, Florida

| | | |
|--|--|--|
| <u>Architecture:</u> Alica Architectural Group 2454 Northeast 13 Avenue Wilton Manors, Florida 33305 | <u>Civil Engineering:</u> Zamora & Associates 11410 N. Kendall Drive, Miami, Florida 33176 | <u>Landscape Architecture:</u> Kimberly Moyer 4808 Northeast 16 Avenue Oakland Park, Florida 33334 |
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GENERAL NOTES:
1- SCOPE OF WORK IS THE FREE STANDING ADDITION TO THE EXISTING ADJACENT BUSINESS.

SHEET INDEX:
A1- SITE PLAN AND PROJECT DATA
- FLAT
- SURVEY
C1- SITE DRAINAGE PLAN
L1- LANDSCAPE PLAN
PM1- PHOTOMETRIC SITE PLAN
A2- FLOOR PLAN AND ELEVATIONS

SEE PLAN APPROVAL



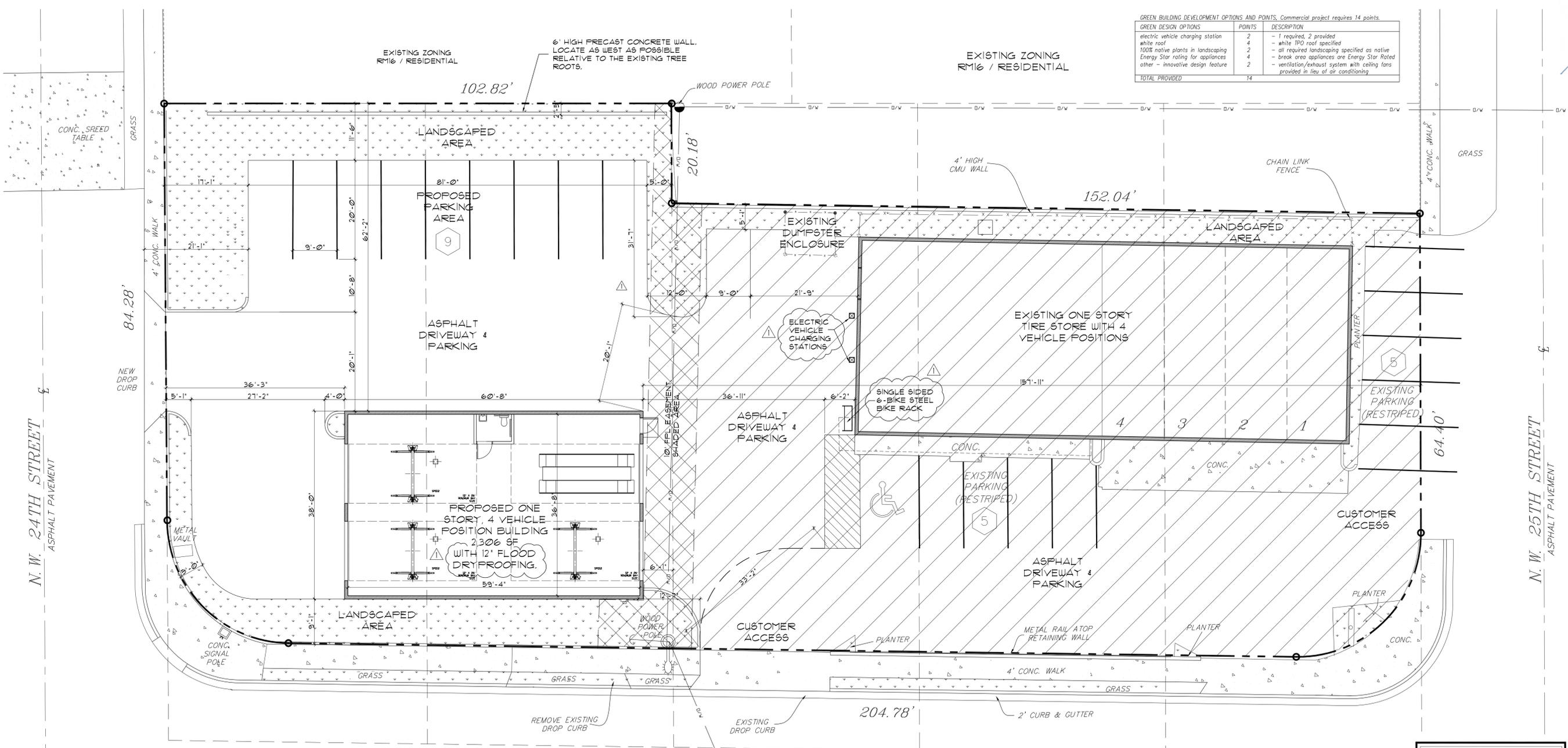
ROBERT C. ALLICA, ARCHITECT
2424 NORTHEAST 13 AVENUE
WILTON MANORS, FLORIDA 33095
V. 954.965.5320 F. 954.965.5308

REVISIONS
03 / 24 / 21 DRC COMMENT RESPONSES
04 / 28 / 21 CLARIFICATIONS

ALLICA ARCHITECTURAL GROUP
NEW FREESTANDING BUILDING
HAMILL TIRE
2425 NORTH ANDREWS AVENUE
WILTON MANORS, FLORIDA

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| GREEN DESIGN OPTIONS | POINTS | DESCRIPTION |
|-----------------------------------|-----------|---|
| electric vehicle charging station | 2 | - 1 required, 2 provided |
| white roof | 4 | - white TR90 roof specified |
| 100% native plants in landscaping | 2 | - all required landscaping specified as native |
| Energy Star rating for appliances | 4 | - break area appliances are Energy Star Rated |
| other - innovative design feature | 2 | - ventilation/exhaust system with ceiling fans provided in lieu of air conditioning |
| TOTAL PROVIDED | 14 | |



SITE PLAN
SCALE: 1" = 10'-0"

| PROJECT DATA | |
|--|---------------------------------|
| LEGAL DESCRIPTION: LOT 1-5 BEULALAND, WILTON MANORS, BROWARD COUNTY, FLORIDA | |
| ADDRESS: 2425 NORTH ANDREWS AVENUE, WILTON MANORS, FLORIDA 33311 | |
| LAND USE DESIGNATION: TOC-III (TRANSIT ORIENTED CORRIDOR - WEST) | |
| ZONING DESIGNATION: B2-BUSINESS | |
| PROPOSED USAGE: AUTOMOBILE REPAIR, MINOR (CONDITIONAL USE) | |
| PARKING CALCULATIONS: VEHICLE REPAIR AND SERVICE 2 SPACES PER VEHICLE SERVICE POSITION TOTAL PARKING REQUIRED, 4 BAYS X 2: 8 SPACES PARKING PROVIDED: 9 SPACES | |
| SETBACKS: (REQUIRED / EXISTING / PROPOSED) | |
| - FRONT, EAST | NONE / 9'-1" |
| - SIDE, SOUTH | NONE / 36'-3" |
| - SIDE, NORTH | NONE / 6'-1" |
| - REAR, WEST, ABUTTING RESIDENTIAL | GREATER BLDG HT OR 20' / 62'-2" |
| BUILDING HEIGHT | 1 STORY 20'-0" MAX |
| ADJACENT ZONING AND LAND USE: | |
| - NORTH | B2 / COMMERCIAL |
| - EAST | RM12 & RM16 / RESIDENTIAL |
| - WEST | RM16 / RESIDENTIAL |
| - SOUTH | B2 / COMMERCIAL |

AREA NOT INCLUDED IN THIS SCOPE OF WORK

| TEXTURE LEGEND | |
|--------------------|--------------------|
| [Stippled texture] | LANDSCAPED AREA |
| [Diagonal lines] | DRIVES AND PARKING |
| [Solid grey] | CONCRETE AREAS |

| AREA CALCULATIONS | |
|----------------------------------|------------------------------|
| SITE AREA (PROPOSED ADDITION): | 11,131 SF / .26 ACRES / 100% |
| PLOT COVERAGE, PROPOSED BUILDING | 2,306 SF / 21% |
| DRIVEWAY, PARKING & WALKS | 5,862 SF / 52% |
| IMPERVIOUS AREA | 8,168 SF / 73% |
| LANDSCAPED / PERVIOUS AREA | 2,963 SF / 27% |

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NORTH ANDREWS AVENUE
ASPHALT PAVEMENT

WOOD POWER POLE



Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

CONSTRUCTION NOTES:

ANY DAMAGE TO SIDEWALK, RAMPS, AND/OR CURB AND GUTTER SHALL BE RESTORED PER FDOT 2017-18 DESIGN STANDARDS INDEX No. 300, 304 AND 310.

NOTE TO CONTRACTOR

CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOILS REPORT PREPARED UNIVERSAL SOILS AND SHALL IMPLEMENT ALL RECOMMENDATIONS IDENTIFIED. CONTRACTOR TO NOTIFY ENGINEER IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE REPORT.

PAVING, GRADING & DRAINAGE PLAN

LEGEND

- EXISTING PAVEMENT
--- PROPOSED PAVEMENT
--- EXISTING ELEVATION
--- PROPOSED ELEVATION
--- PROPOSED CONCRETE
--- PROPOSED NEW BUILDING
--- RUN OFF DIRECTION
--- EXIST. TYPE "F" CURB & GUTTER
--- PROP. TYPE "F" CURB & GUTTER
(1) DRAINAGE STRUCTURE NUMBER

SCALE 1" = 20'

NOTE TO CONTRACTOR:

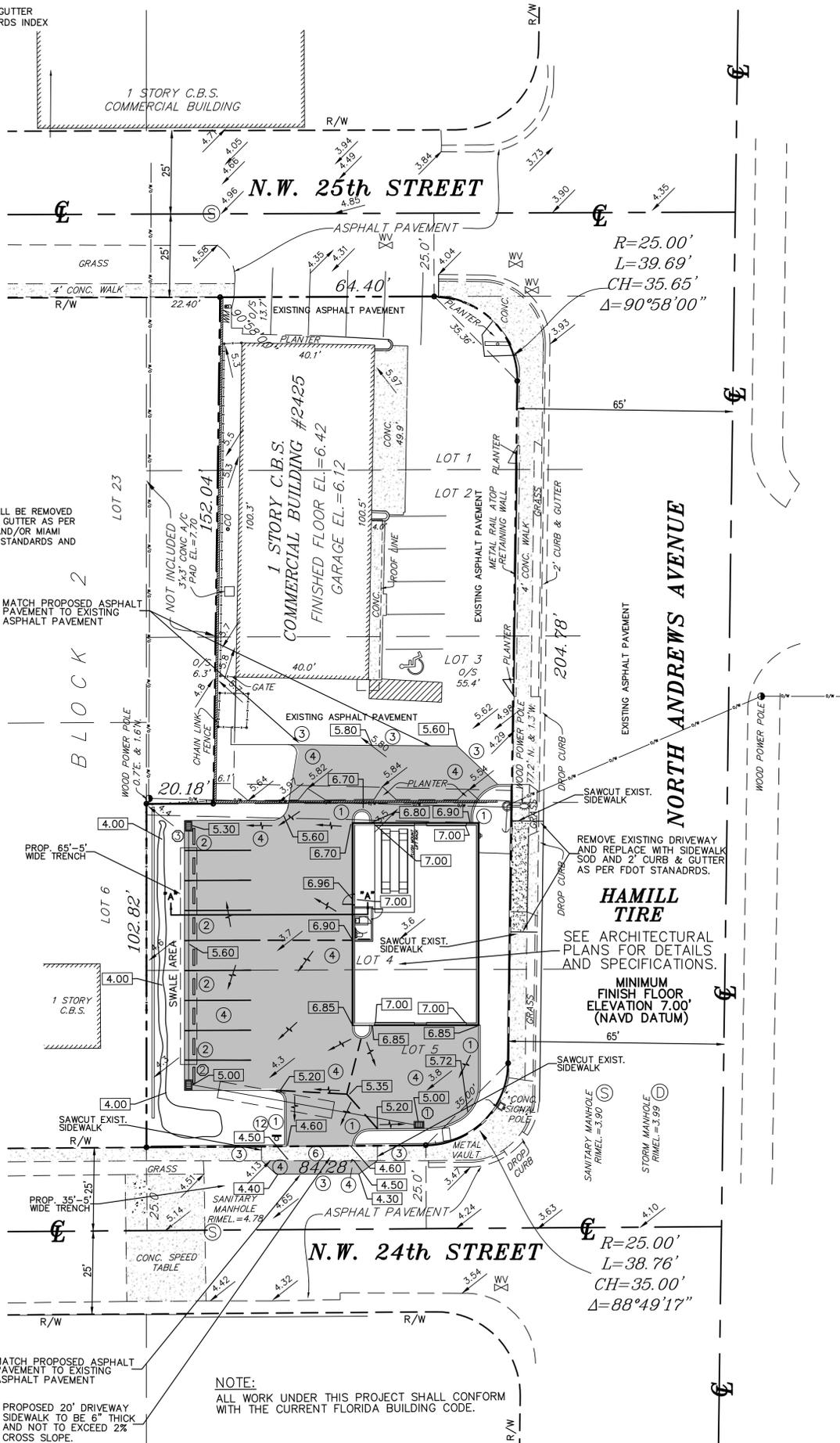
ALL EXISTING DRIVEWAYS NOT USED SHALL BE REMOVED AND REPLACED WITH SIDEWALK AND CURB & GUTTER AS PER FLORIDA DEPARTMENT OF TRANSPORTATION AND/OR MIAMI DDAE COUNTY PUBLIC WORKS DEPARTMENT STANDARDS AND SPECIFICATIONS. MATCH TO EXISTING.

SCHEDULE NOTES

- (1) NEW 6" TYPE "D" CONCRETE CURB
(2) NEW WHEEL STOP/BUMPER
(3) EXISTING PAVEMENT LINE
(4) NEW ASPHALT PAVEMENT
(5) NEW CONCRETE PAVEMENT
(6) NEW CONCRETE SIDEWALK (6" THICK)
(7) NEW 4" PAINTED STRIPING (SINGLE)
(8) NEW 4" PAINTED WHITE STRIPING
(9) NEW TYPICAL PAINTED "WHITE" HANDICAP SYMBOL
(10) NEW PAINTED DIRECTIONAL ARROW
(11) NEW 24" WIDE PAINTED WHITE STOP BAR THERMOPLASTIC
(12) NEW STOP SIGN (R1-1)
(13) NEW TYPICAL "HANDICAP" SIGN
(14) NEW HANDICAP RAMP (1:12 MAX SLOPE)
(15) NEW 3' MINIMUM DETECTABLE WARNING
(16) NEW 25' OF 2-6" YELLOW THERMOPLASTIC
(17) NEW CONCRETE BOLLARD
(18) NEW LIGHT POLES
(19) NEW RIGHT TURN ONLY (R3-5R) SIGN
(20) NEW "DO NOT ENTER" SIGN

UNDERGROUND CONTRACTOR:

- A. Underground Contractor shall comply with the Trench Safety Act, HB 3183, Florida Statutes, which incorporates, but is not limited to, the following:
1. OSHA Standard 29 C.F.R. Part 1926, Subpart P, Excavation and Trenches.
2. Contract bids for trench excavations (in excess of 5 feet deep) shall include reference to the safety standards, written assurance of compliance, and a separate item identifying the cost of compliance.
3. Adhere to any special shoring requirements of the state or other political subdivision.
B. Engineer is not responsible for the safety of the excavation or design and construction of any shoring.



LOCATION SKETCH table showing street grid with N.W. 25th Street, N.W. 24th Street, N.W. 3rd Avenue, and N. Andrews Ave.

LOCATION SKETCH SCALE: N.T.S.

GENERAL NOTES:

- 1. All materials and labor under the project shall conform to City of Wilton Manors Public Works Department, Florida Department of Transportation and Broward County EPD Standards and Specifications.
2. For site dimensions and geometry see Site Plan prepared by Allica Architectural Group.
3. Elevations shown are based on N.A.V. (1988) Datum and as shown on Survey.
4. Underground utility information is taken from the best available sources, but should be verified by contractor in the field with the appropriate utility agency prior to commencement of any work.
5. Contractor shall adjust any utility lids and/or covers in project area to the finished grade.
6. Any apparent discrepancies in the plans and field condition shall be brought to the attention of the Engineer before proceeding with the
7. Contractor shall notify the Owner's representative and Engineer if soil condition encountered is unsuitable for construction.
8. The Contractor shall restore all areas disturbed by this construction to a condition equal to, or better than, that now existing.
9. Typical Pavement Section: 1.5" Type S-1 Asphaltic Concrete surface course 8" Limerock base (Minimum LBR 100), compact to 98% of maximum density as determined by AASHTO T-180 and 6" concrete slab on well compacted subgrade compact to 98% of maximum density as determined by AASHTO T-180.
10. Fill shall be placed in 12" layers loose thickness, measured and compacted to 95% of maximum density as determined by AASHTO T-180.
11. All seepage structures shall be French Drain with 15" perforated HDPE shall be used.
12. The property is located in flood zone AH, Elevation 6.00 feet, as per current Map No. 12011 C 0367 H dated August 18, 2014.
13. Water level elevation as determined by Broward County Average Wet season map is at Elevation 2.00 Feet (NAVD).
14. Background information obtained from Boundary Survey prepared by McLaughlin Engineering Company Inc. Dated November 3, 2014.
15. All signage and markings shall conform to the requirements of Broward County Florida and the Florida Department of Transportation.
16. This site lies in the City of Wilton Manors, Broward County, Florida.
17. All repairs to the existing pavement shall receive saw-cut edges prior to relaying asphalt.
18. Prime coat shall be applied at a rate of 0.25 gallons per square yard.
19. Base and subgrade density tests shall be conducted for a maximum 7000 square feet of finished pavement.
20. Proctors shall be performed on all material, subgrade and base and any subsequent changes in materials.
21. Minimum longitudinal slope of pavement shall be 0.3%.
22. Minimum transverse slope of the pavement shall be one percent for parking areas.

REVISIONS:

ZAMORA & ASSOCIATES, INC. ENGINEERING LAND PLANNING 11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176 (305) 273-7801

PROJECT: OWNER:

HAMILL TIRE 2425 N. ANDREWS AVENUE WILTON MANORS, FLORIDA

PAVING, GRADING + DRAINAGE PLAN

SCALE: 1" = 20' DATE: 12/23/2018 DRAWN BY: CHECKED BY: G.Z. PROJECT No. 2018-74 SEAL:

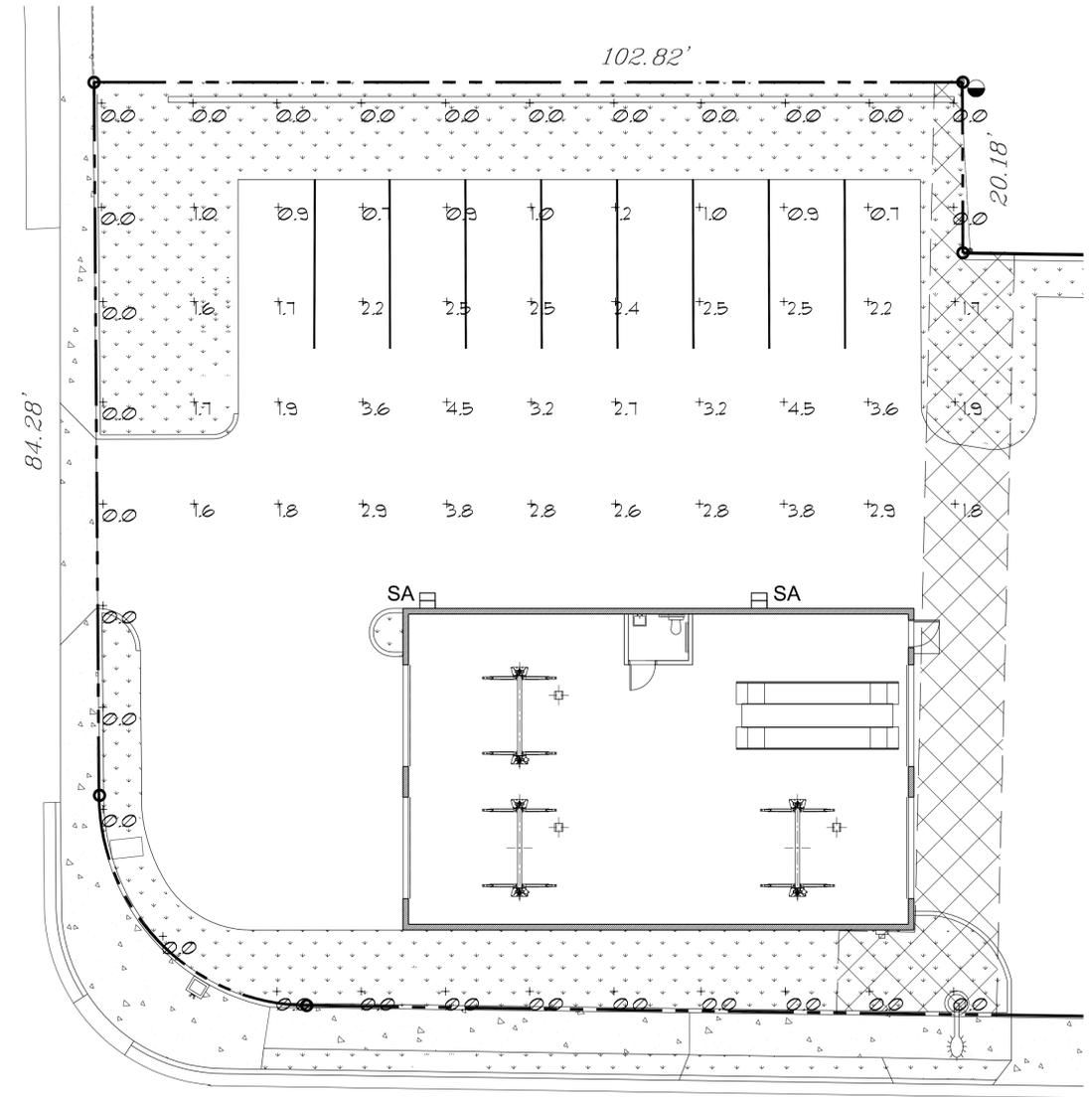


12/28/2018 GERARDO ZAMORA P.E. CIVIL ENGINEER P.E. No. 44207 E.B. 0006791 STATE OF FLORIDA SHEET No.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GERARDO ZAMORA JR P.E. ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

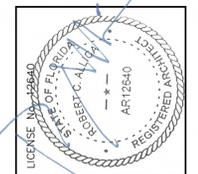
N. W. 24TH STREET
ASPHALT PAVEMENT



PHOTOMETRIC PLAN
SCALE: 1" = 10'-0"

| Symbol | Label | Qty | Catalog Number | Description | Lamp | Lumens | LLF | Watts |
|--------|-------|-----|--|--|--|----------|------|-------|
| | SA | 2 | LITHONIA ALX1 LED 1 30A350/51K SR4 MVOLT - BLDG MTD - 12' A.G. | ALX1 HOUSING WITH ONE TYPE 4 LIGHT ENGINE AT 350mA | ONE ALX LED LIGHT ENGINE, DOWNLIGHT POS. | Absolute | 0.80 | 113.9 |

| STATISTICS | | | | | | |
|--------------------------|--------|--------|--------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Calc Zone # 1 | + | 1.8 fc | 4.5 fc | 0.6 fc | 7.5:1 | 3.0:1 |
| Calc Zone # 2 | + | 2.7 fc | 5.5 fc | 1.6 fc | 3.4:1 | 1.7:1 |
| PROPERTY LINE - INTERIOR | + | 0.0 fc | 0.1 fc | 0.0 fc | N / A | N / A |
| PROPERTY LINE - UPPER | + | 0.1 fc | 0.1 fc | 0.0 fc | N / A | N / A |



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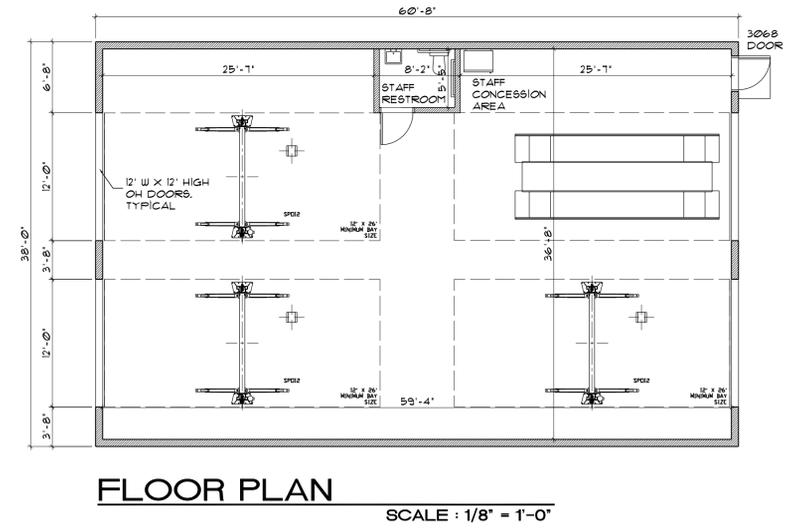
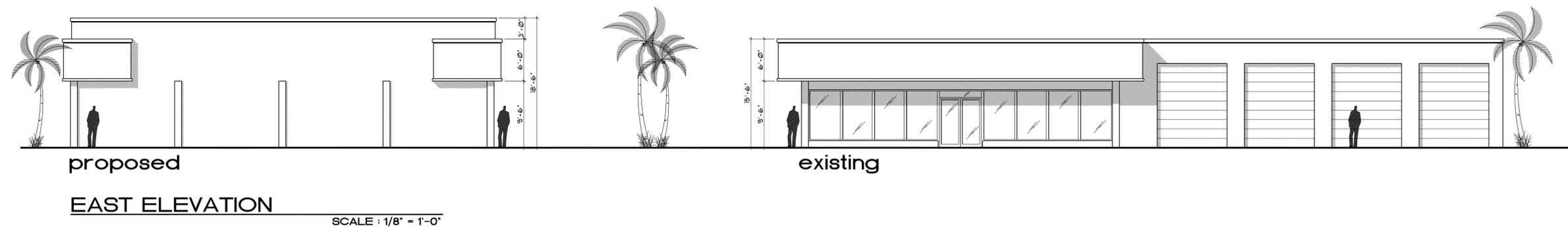
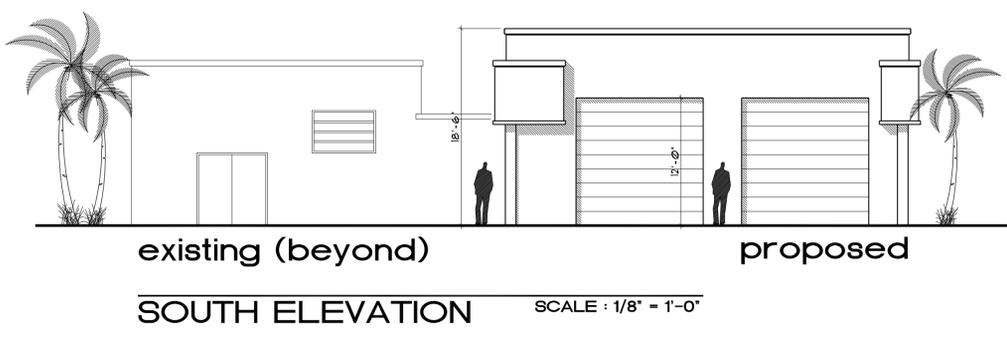
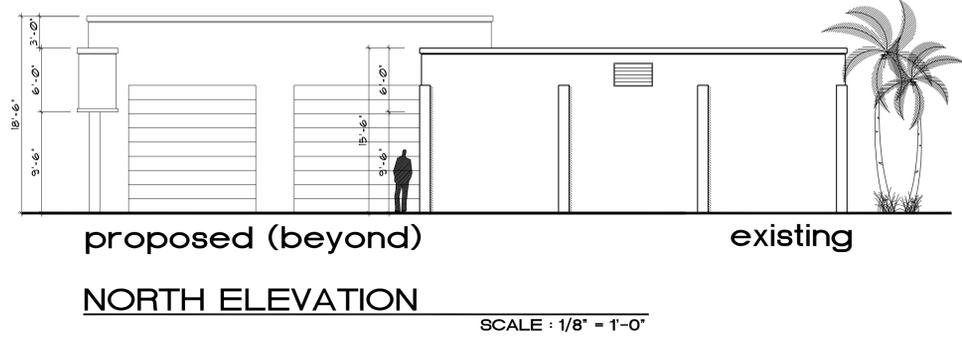
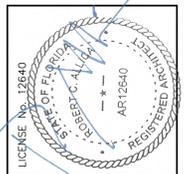
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