

City of
Wilton Manors

**2022 Municipal Impact Fees Study -
revised**

August 16, 2022

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Wilton Manors, Florida 33305

Subject: 2022 Municipal Impact Fee Study - revised

Enclosed is the 2022 municipal impact fee report for your use and reference. The report herein includes an executive summary followed by technical sections regarding the calculation of each of the updated impact fees and additional background information. This report outlines the extraordinary circumstances faced by the City in regards to providing the necessary capital improvements to meet additional demands resulting from growth. Implementing the fees as proposed will help minimize the burden of funding growth related projects on existing residences and businesses. If you should have any questions please do not hesitate to contact me. We appreciate the opportunity to work with you and the City on this important project.

Respectfully Submitted,

Raftelis Financial Consultants, Inc.

A handwritten signature in blue ink that reads 'Joe Williams'.

Joe Williams

Manager

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Executive Summary

Introduction

The City of Wilton Manors (City) has retained Raftelis Financial Consultants, Inc. (Raftelis) to review and update the City’s police, fire, and recreation services impact fees as well as calculate new impact fees for general government and library. Impact fees are important sources of revenue for municipalities to fund infrastructure investments related to serving growth. The impact fee calculations are based on the costs to provide infrastructure to address needs related to growth based on data specific to each service and related to the City’s characteristics. The calculated impact fees set forth in this study reflect Florida case law, Florida Statutes, and generally acceptable impact fee methodologies, where applicable.

The report herein outlines the methodologies, assumptions, and considerations in the development of each impact fee calculation. Based on the anticipated nature of development in the City, primarily consisting of redevelopment and additions, the impact fees are designed to be charged based on square footage of development. The following tables summarize the City’s existing residential municipal impact fees compared to the fully calculated impact fees based on the analysis in this report:

Table ES 1: Existing and Calculated Single Family Residential Impact Fees

Description	Existing	Calculated Fee [1]	Difference	% Difference
Police	\$91.50	\$382.00	\$290.50	317.5%
Fire	60.00	100.00	40.00	66.7%
Parks and Recreation	1,224.28	2,146.00	921.72	75.3%
Library	N/A	112.00	112.00	N/A
General Government	N/A	520.00	520.00	N/A
Total	\$1,375.78	\$3,260.00	\$1,884.22	137.0%

[1] Impact fee is charged per square foot. Fee is shown for a 2,000 square foot single family home (City average).

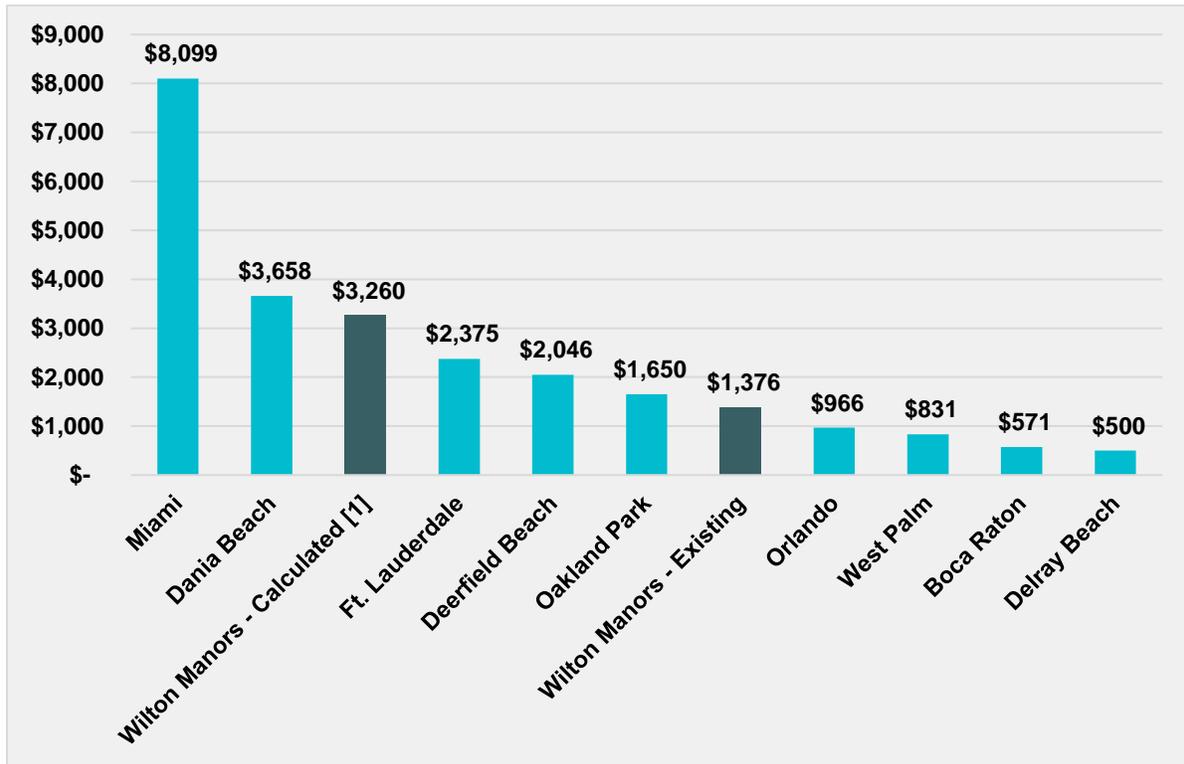
Table ES 2: Existing and Calculated Multi-Family Residential Impact Fees

Description	Existing	Calculated Fee [1]	Difference	% Difference
Police	\$91.50	\$360.00	\$268.50	293.4%
Fire	60.00	102.00	42.00	70.0%
Parks and Recreation	976.51	2,010.00	1,033.49	105.8%
Library	N/A	104.00	104.00	N/A
General Government	N/A	491.00	491.00	N/A
Total	\$1,128.01	\$3,067.00	\$1,938.99	171.9%

[1] Impact fee is charged per square foot. Fee is shown for a 1,000 square foot multi-family unit (City average).

A comparison of the City’s existing and fully calculated fees with other municipalities are shown below for informational purposes:

Figure 1: Single Family Municipal Impact Fee Comparison



[1] Total fees shown are for a 2,000 square foot single family residential home.
 Note: Not all municipalities charge impact fees for police, fire, parks, library, or general government.

As shown above, the City’s calculated fees based on the most recent data are comparable to impact fees charged by other nearby municipalities.

The City currently charges non-residential development a flat fee per square foot for both police and fire. This report discusses the proposal of six land-use categories.

In light of the recent updates to the Florida Impact Fee Act (F.S. 163.31801 section (6)) that provides limitations on increasing impact fees, outside of extraordinary circumstances, the following tables demonstrate the fee levels that are recommended for adoption by the City. The extraordinary circumstances include recent large inflationary cost increases and plus additional capital improvements based on an uptick in population growth. Additionally, the City recently passed Ordinance 2020-13R, which allows for increased densities in several transit corridors within the City that is expected to result in a significant amount of redevelopment and increased densities that will place significantly more demand on the City’s services for Police, Fire, Parks & Recreation, Libraries, and General Government. As shown below, the fire impact fees will be phased in over the next four years to achieve the maximum 50% increase allowed, which is ultimately lower than the full amount calculated as there are currently no identified extraordinary demands and/or investments anticipated on the fire department due to the operational agreement the City has with Fort Lauderdale. However, for the police and parks & recreation impact fees there are significant and extraordinary capital needs that justify having the fully calculated fees implemented. For Police, the current impact fee does not adequately reflect the cost of the building space and future expansions that the department will require to sustain staffing and operations at reasonable levels. For Parks & Recreation, the City has made significant investments since the last time impact fees were established and due to growth there are additional investments required that result in the higher calculated fees. Additional tables and discussion, including of extraordinary circumstances as applicable are provided in each section of this report.

Table ES 3: Proposed Police Impact Fees

Land Use	Impact Unit	Proposed Impact Fee
Single Family	Per square foot	\$0.191
Multi-Family	Per square foot	\$0.360
Industrial/Warehouse	Per square foot	\$0.034
Hotel	Per room	\$133.00
Institutional	Per square foot	\$0.074
Office Building	Per square foot	\$0.252
Retail	Per square foot	\$0.694
Restaurant/Bar	Per square foot	\$2.095

Table ES 4: Proposed Fire Impact Fees

Land Use	Impact Unit	2022	2023	2024	2025
Single Family	Dwelling Unit	\$60.00	\$70.00	\$80.00	\$90.00
Multi-Family	Per square foot	\$0.040	\$0.047	\$0.053	\$0.060

Table ES 5: Proposed Parks and Recreation Impact Fees

Land Use	Impact Unit	Proposed Impact Fee
Single Family	Per square foot	\$1.073
Multi-Family	Per square foot	\$2.011

Table ES 6: Proposed Library Impact Fees

Land Use	Impact Unit	Proposed Impact Fee
Single Family	Per square foot	\$0.056
Multi-Family	Per square foot	\$0.104

Table ES 7: Proposed General Government Impact Fees

Land Use	Impact Unit	Proposed Impact Fee
Single Family	Per square foot	\$0.260
Multi-Family	Per square foot	\$0.491
Industrial/Warehouse	Per square foot	\$0.047
Hotel	Per room	\$181.00
Institutional	Per square foot	\$0.101
Office Building	Per square foot	\$0.344
Retail	Per square foot	\$0.948
Restaurant/Bar	Per square foot	\$2.861

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Observations and Recommendations

The following is a summary of the observations and recommendations developed by Raftelis during our investigation, analyses, and preparation of this report:

1. The imposition of impact fees must satisfy the rational nexus requirements as determined by case law. The impact fees must be reasonably related to the capital cost of providing capital facilities/equipment needed to accommodate needs attributable to new growth. The impact fees collected must be used by the City to address the capital costs related to serving new development. Based on the information made available by the City, the proposed impact fees are designed to meet these precedents and the requirements set forth in Florida Statutes Section 163.31801.
2. The fees developed within this report reflect recovery of identified costs and the City has discretion to phase-in or otherwise adopt less than the fully calculated fees, subject to meeting all provisions of F.S. 163.31801. However, the adoption of fees less than the fully calculated rates should be applied to all land uses equally to maintain the calculations herein in correct proportion. Adopting less than the calculated rates would increase the reliance on general fund and other revenue sources to meet the demands of growth.
3. Should the City move forward with adopting the fees as proposed, with new land uses, and fee amounts that will exceed the 50% increase limitations outlined in F.S. 163.31801, all requirements of the Statute should be met including holding two publicly noticed workshops dedicated to discussing the extraordinary needs. This study serves as the demonstrated needs study for the City.
4. In compliance with Florida Statutes the City should continue to collect and maintain revenue collected from each type of municipal impact fee in designated sub-accounts and use such fees on those facilities designated for each purpose.
5. The City should charge impact fees for general government services and library services.
6. The City should re-evaluate its municipal impact fees no later than 2026 to maintain compliance with state statutes and since statutes now limit impact fee increases to no more than every four years.

Section 1 – Introduction

Introduction

The City of Wilton Manors (the “City”) is located in Broward County, to the north of Fort Lauderdale, and has a total area of approximately 1.97 square miles. The City provides a full range of municipal services, including police services; fire rescue services; recreation activities, and library services. Based upon recent demographic data published by the 2020 US Census, the City’s population is estimated at 11,426 as of 2020. Based on discussions with City staff, assumptions from the 2021 Utility Rate Study, and an increase in the City’s density policy, it is realistic that the City would experience a small amount of growth by 2030. For purposes of this report, it is estimated that the population will be 13,766 by 2030, representing an average growth rate of 1.88% compounded annually.

Impact Fee Background

Impact fees are one-time charges established as a means to recover in whole or in part, the costs associated with infrastructure and capital equipment needed to accommodate the demands anticipated to be generated by new development. Such capital costs generally include the construction of facilities together with necessary land costs. However recent changes to Florida Statutes governing impact fees require a minimum of five (5) year service life and therefore the impact fee calculations herein include only assets that meet this minimum. Historically, impact fees in Florida were a result of home rule powers with the requirements associated with the development, administration, accounting and expenditure governed by case law. However, in 2006, Section 163.31801 was added to the Florida Statutes, which placed specific requirements and limitations on that home rule authority. This statute has been amended several times since its initial adoption, including significant additional provisions in 2021 such as limiting the percentage increase for a change in impact fees. Appendix A at the end of the report includes the full Florida impact fee statute.

Although the statute provides specific impact fee criteria, certain precedents established by case law also constitute the legal requirements associated with impact fees. Case law precedent for impact fees in Florida was originally set in the landmark Florida Supreme Court decision, Contractors and Builders Association of Pinellas County vs. City of Dunedin, Florida. In the ruling, the court identified certain conditions as necessarily present in order to have a valid impact fee. In general, the court decision addressed the following:

1. The impact fee should be reasonably equitable to all parties; that is, the amount of the fee must bear a relationship to the amount of services requested;
2. The system of fees and charges should be set up so that there is not an intentional windfall to existing users;
3. The impact fee should, to the extent practical, only cover the capital cost of construction and related costs thereto (engineering, legal, financing, administrative, etc.) for increases in or expansions of capacity or capital requirements that are required solely due to growth. Therefore, expenses due to normal renewal and replacement of a facility (e.g., replacement of a capital asset) should be borne by all users of the facility or municipality. Similarly, increased expenses due to operation and maintenance of that facility should be borne by all users of the facility; and
4. The local government must adopt a revenue-producing ordinance that explicitly sets forth restrictions on revenues (uses thereof) that the imposition of the impact fee generates. Therefore, the funds collected from the impact fees should be retained in a separate account, and separate accounting must be made for those funds to ensure that they are used only for the lawful purposes described.

Based on the criteria provided above, the impact fees herein will: 1) include local current costs of improvements associated with the capacities needed to serve new growth; 2) not reflect costs of improvements associated with the

renewal and replacement (R&R) of existing capital assets or deficiencies in level of service attributed to existing development; and 3) not include any costs of operation and maintenance of the capital improvements and equipment.

This section provides only a general background regarding impact fees. Certain circumstances and issues regarding the interpretation of specific statutes or case law should be addressed by qualified legal counsel.

Summary of Report

In addition to Section 1, this report has been subdivided into six other sections. The following is a brief discussion of the remaining sections included in this report.

Section 2 – Service Area and Functional Population. This section of the report provides a general discussion of the residential and non-residential land use characteristics, and development of functional population estimates for both existing and future development.

Section 3 – Police Services Impact Fee. This section includes the calculation of the proposed impact fee for the capital requirements associated with providing police services, the methodology for the proposed fees, assumptions utilized in the design of the fees, and other factors associated with the fee determination.

Section 4 – Fire/Rescue Impact Fee. This section discusses the calculation of the proposed impact fee for the capital requirements associated with providing fire/rescue services, the methodology for the proposed fees, assumptions utilized in the design of the fees, and other factors associated with the fee determination.

Section 5 – Parks and Recreation Impact Fee. This section discusses the development of the proposed impact fee for the capital requirements associated with providing parks and recreation and cultural arts facilities, the methodology for the proposed fees, assumptions and other factors associated with the fee determination. Parks and recreation impact fees apply only to residential development.

Section 6 – Library Impact Fee. This section includes the calculation of the proposed impact fee for the capital requirements associated with providing library services, the methodology for the proposed fee, and other factors associated with the fee determination.

Section 7 – General Government Impact Fee. This section includes a discussion of the proposed impact fee for the capital requirements associated with providing general government services, the methodology for the proposed fee, and other factors associated with the fee determination.

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Section 2 – Service Area and Functional Population

General

This section provides a general discussion of the current service area, population, and functional population factors.

Population and Development Forecast

Since impact fees are designed to recover the proportionate cost of new facilities attributed to growth, it is necessary to identify the existing population and future growth projections. According to the 2020 Census the City's population is 11,426 as of 2020. Based on discussions with City staff, assumptions from the 2021 Utility Rate Study, and an increase in the City's density policy for development, it is realistic that the City would experience population growth by 2030. For purposes of this report, it is estimated that the population will be 13,766 by 2030, representing an average growth rate of 1.88% annually.

GIS data was obtained from the Broward County Property Appraiser, which provides details on the number of parcels, units, and square feet by land-use within City limits. In total, the data indicated there are 6,826 residential dwelling units (including single family and multi-family) developed in the City along with 2,251,350 square feet (SF) of non-residential building space. Based on the 6,826 residential dwelling units obtained from the Property Appraiser and the 2020 Census population of 11,426, there are on average 1.67 persons per residential dwelling unit. Based on US Census data pertaining to the number of persons per household in single family and multi-family units it was determined that on average multi-family units had a ratio of approximately 84% of that of single family. The result is a persons per household figure of 1.84 persons per single family unit and 1.54 persons per multi-family unit.

Additionally, pursuant to the GIS data used to determine the number of dwelling units, the square footage of each unit was obtained. For single family residential there are 3,011 homes consisting of a total 6,332,971 square feet, for an average size of 2,103 square feet. For multi-family there are 3,815 units consisting of a total 3,598,446 square feet (living space), for an average size of 943 square feet per unit. Based on the nature of development in the City with significant redevelopment occurring, it is recommended that the impact fees be established based on square footage for residential development. This will allow the fees to reflect the increased demands as additions or rebuilds occur, while also providing an adequate basis for establishing the appropriate credits for any existing development.

Based on planned development data provided by City staff, the City's dwelling units are estimated to increase by 1,273 units to 8,099 by 2030. Compared to the existing 6,826 dwelling units, this figure represents a growth of approximately 18.6% over the 10-year period, or 1.7% annually.

Functional Population Parameters

A goal of the impact fee study is to assign the costs associated with each service provided to new development or re-development requiring an increased level of services on an equivalent unit basis. Two primary methods of allocating costs include: 1) actual service calls based on historical records; and 2) population figures weighted and adjusted for time spent at various land uses based on traffic and other data. This study uses a method that allocates costs using population figures weighted and adjusted for time spent at various land uses based on traffic and other data and is commonly referred to as "functional population". The functional population analysis typically relies on trip data obtained through survey sources. Trip data is readily available from sources such as the Institute of Transportation Engineers (ITE) and is widely accepted for the purpose of identifying functional population by land use. This study uses the 10th Edition ITE trip generation manual. The trip data is applied to each land use along with other demographic data to establish a functional population by land use. Functional population measures the number of persons at a particular location measured over a 24-hour period. For example, for single family residential a typical functional population would reflect a person at home 100 hours per week (e.g. 10-14 hours per day during weekdays

and 20 -30 hours during the weekend). Based on 168 hours per week, this equates to 60% occupancy or 0.6 functional population per resident. Applying this factor to the average household size throughout the City of 1.67 persons equates to 1.00 functional population per dwelling unit. Table 1 summarizes the existing single family and multi-family residential functional population based on these criteria:

Table 1: Residential Functional Population

Housing Type	2020 Population [1]	2020 Households [2]	Average Household Size	Occupancy Factor [3]	Functional Population/ Unit	2020 Functional Population
		(a)	(b)	(c)	(b) x (c) = (d)	(a) x (d)
Single Family	5,535	3,011	1.84	60.0%	1.10	3,312
Multi-Family	5,891	3,815	1.54	60.0%	0.93	3,548
Total	11,426	6,826	1.67	60.0%	1.00	6,826

[1] Population data obtained from the 2020 Census.

[2] Households obtained from GIS data obtained from Broward County Property Appraiser in October 2021.

[3] Amount assumes 100 hours spent at home out of a 168-hour week.

Since the residential land uses are developed on a per unit basis, but the fee application is recommended on a per square foot basis, a conversion is necessary. Relying on the functional population per unit calculations on Table 1 above and the average square footage per unit developed previously of 2,103 square feet per single family home and 943 square feet per multi-family unit, the average functional population per thousand square feet is developed.

Table 2: Functional Population per Square Foot of Residential Development

Housing Type	Functional Population/Unit	Average Unit Square Feet (sf)	Average Functional Population/ 1,000 sf
Single Family	1.10	2,083	0.523
Multi-Family	0.93	943	0.986

For non-residential land uses, the functional population is determined through the process of applying the following attributes to each land use, typically measured per 1,000 square feet (i.e., per unit): 1) trips per unit and employees staffed per unit; 2) trip end adjustment; 3) hours worked by employees; 4) occupants per trip; 5) number of visitors, visitor hours, and visitor hours per week. Trip and employee data are primarily obtained from the ITE manual (10th Edition, 2017), and visitors and other data is obtained from sources including the 2017 National Household Travel Survey (U.S. Department of Transportation). Table 3 summarizes this process below:

Table 3: Non-Residential Functional Population

Land Use	Bldg. SF	2020 Functional Population
Industrial/Warehousing	162,338	19
Hotel	234,596	281
Institutional	513,035	130
Office Building	335,002	289
Retail	909,273	2,161
Restaurant/Bar	97,106	696
Total	2,251,350	3,576

Since impact fees are designed to recover the proportionate cost of new facilities attributed to growth, it is necessary to identify the existing and future development. The table below summarizes the expected residential growth in the City by year 2030, which will serve as the primary basis for cost allocations, future functional population, and impact fee levels. As demonstrated, a significant amount of the new growth is anticipated to be multi-family development. There will also likely be additions and rebuilds for single family properties, but these are more difficult to project, so the function population is unchanged.

Table 4: Residential Functional Population Growth

Housing Type	2020	Functional Population/Unit	2030	2030
	Functional Population		Households	Functional Population
Single Family	3,312	1.10	3,011	3,312
Multi-Family	3,548	0.93	5,088	4,732
Residential	6,826	1.00	8,099	8,044

As seen above, the single family residential functional population is expected to remain constant through 2030 and the multi-family residential functional population is increasing by 1,218 from 6,826 to 8,044 by 2030.

Table 5: Non-Residential Functional Population Growth

Year	Building Square Feet	Functional Population
2020	2,251,350	3,576
2030	2,288,725	3,635

As shown above, the 2020 non-residential functional population is 3,576 and is forecast to grow by 59 to 3,635 by 2030. The projected 2030 is based on development plans provided by the City.

The following summarizes the existing and projected functional population:

Table 6: Summary of Functional Population

Land Use	2020	2030	Percent in 2030
	Functional Population	Functional Population	
Residential	6,826	8,044	68.9%
Non-Residential	3,576	3,635	31.1%
Total	10,402	11,679	100%

The projected functional population amounts shown above will be used to apportion growth related police, fire, and general government protection costs to future development, and the functional population analysis by specific land use will provide the basis for the proposed fees to be applied to such land uses.

The functional population assumptions used from ITE is representative of national averages. In order to localize the functional population estimates, the data is weighted using the 2018 Inflow/Outflow Report from the US Census that is specific to the City. The Census inflow/outflow report shows how many residents work inside and outside of the city daily as well as how many non-residents work inside the city.

According to the Inflow/Outflow Report, there are 5,502 residents from the City in the work force. Of those, 355 work within the City and the other 5,147 work outside of the City. Using the 2018 population of 11,504, it can be assumed that 6,002 residents are not working. It is assumed that a resident not working would spend 20 hours at home and that residents working would spend 14 hours at home. This would give a total of 197,067 residential hours (hours spent at home).

Table 7: Functional Population Weighting Residential Hours

Description	Population	Hours Spent at Home	Residential Hours
	(a)	(b)	(c) = (a) x (b)
2018 Population [1]	11,504		
Residential			
Residents Not Working [2]	6,002	20.0	120,039
Residential Work Force			
Works Inside City [3]	355	14.0	4,970
Works Outside City [3]	5,147	14.0	72,058
Total Residential Hours			197,067
Non-Residential			
Residents Not Working [2]	6,002	4.0	24,008
Jobs Located in City			
Residents Working in City [3]	355	10.0	3,550
Non-resident Workers (inflow commuters) [3]	4,386	10.0	43,860
Total Non-Resident Hours			71,418
Total Daily Hours Within the City			268,485

[1] Population estimate based on City's Comprehensive Plan

[2] Amount derived from subtracting the Residential Work Force from the 2018 Population

[3] Amount comes from US Census 2018 Inflow/Outflow Count of All Jobs Report

As shown on the table above Residential Hours account for 73.4% (197,067 / 268,485) of total daily hours spent within the City and Non-residential accounts for 26.6% (71,418 / 268,485). These percentages are used to allocate the capital costs for police and fire services impact fee calculations.

Below is a list of the non-residential land uses:

- Industrial/Manufacturing (ITE 150) – Generally includes Light Industrial, Heavy Industrial, Manufacturing and Industrial Parks.
- Hotel (ITE 310) – A place of lodging that provides sleeping accommodations. Includes suites hotel, motel, resort hotels, etc.
- Institutional (ITE 530) – Generally includes hospitals, schools, daycares, and religious facilities.
- Office Building (ITE 710) – This land use consists of various types of office building including general and medical.
- Retail (ITE 820) – Generally includes all types of retail establishments such as shopping centers, stand-alone stores, grocery stores, department stores, auto repair shops, and several others.
- Restaurant/Bar (ITE 932) - This land use consists of high quality and fast-service restaurants and bars. Can consist of chain restaurants or full-service sit-down eating establishments. Can also include standalone bars.
- Assisted Living Facilities (ITE 254) – Generally consists of assisted living facilities including: senior adult housing, congregate care facilities, retirement homes, nursing homes, and similar land uses.

Section 3 – Police Impact Fee

Introduction

The City maintains a Police Department (Police Department) to provide law enforcement services and ensure the safety and well-being of the community and residents of the City of Wilton Manors. The Police Department currently staffs 34 sworn officers and 17 civilian support positions to serve the City’s existing population of 11,426. The Police Department currently shares its facility with City Hall, and the costs have been allocated based on a number of square feet for each department as described further in this section.

Existing Impact Fees

The City currently charges Police Impact Fees for new development within the City limits based on the classification of development: residential or non-residential. The following table illustrates the fees charged by type of development:

Table 8: Existing Police Impact Fees

Description	Impact Unit	Police Impact Fee
Residential [1]	Dwelling Unit	\$91.50
Non-Residential	1,000 SF	\$61.00

[1] Residential impact fee is applied to both single family and multi-family units

As shown above, the existing fees are distinguished between residential and non-residential users. This report uses the same methodology for both residential and non-residential development with the additional of various non-residential land uses presented in Section 2.

Existing Resources and Level of Service

The City currently staffs 34 sworn officers along with necessary support personnel. The staffing is as follows:

Table 9: Current Sworn Officer Staffing

Position	Staffing
Chief	1.0
Assistant Chief	1.0
Sergeant	6.0
Detective	6.0
Patrol Officer	17.0
Community Policing Officer	1.0
Traffic Officer	2.0
Total Sworn Officers	34.0

The City’s Police Department currently consists of 34 full time equivalent positions. With 32 full time police personnel after excluding the police chief and assistant chief, the current level of staffing achieves a Level of Service (LOS) of 2.80 officers per 1,000 population within the City’s limits based on the 2020 census population of 11,426. Additionally, since the impact fee methodology is based on functional population, which identifies that there is typically a lower population in the City than the permanent population suggests, the calculated LOS is 3.08 officers per 1,000 functional population based on the existing 10,402 functional population. While the police staffing uses a much more complex methodology based on demand, types of calls, large events and gatherings, growth expectations, area densities, types of developments, etc. the LOS is used for impact fee purposes to identify equitable allocations of the capital assets between existing and future development. The calculated impact fee will be designed to maintain the 3.08 officers per 1,000 functional population ratio. Therefore, an additional 3.93 officers would be added over the next ten years. The table below illustrates the total need for police officers and the LOS achieved.

Table 10: Existing and Projected Sworn Officers

Description	Existing	Projected Through 2030	
		Additional	Total
Officers	32.00	3.93	35.93
Functional Population	10,402	1,277	11,679
LOS Achieved (Personnel per 1,000 FP)	3.08	3.08	3.08

Incremental Costs

Costs related to growth in the police force typically include a combination of equipping new officers with vehicles and providing the necessary facilities such as police stations. Since eligible impact fees costs are limited to capital items, certain costs are excluded from the impact fee analysis including other initial investments required such as field equipment and protective gear as well as ongoing operating and maintenance costs (salaries and benefits, etc.). Items included in the impact fee calculation have a minimum of a five-year life and are not replaced frequently.

The City must provide vehicles for existing and new officers. The Police Departments policy is to provide one vehicle to each officer. The value of existing and new vehicles is based on current acquisition cost of \$50,000, as provided by the Police Department, for a new fully equipped vehicle. For the existing police vehicles, the replacement cost is \$2,670,500. The cost of providing vehicles to new officers is identified on the following table.

Table 11: Cost of Vehicles for New Officers

Description	Amount
New Sworn Officers	3.93
Vehicles per Officer	1.00
Total Vehicles Needed	3.93
Cost per Vehicle	\$50,000
Total Vehicle Costs for New Officers	\$196,400

As shown above, the total cost of additional vehicles over the next ten years is estimated at \$196,400.

Table 12: Total Vehicle Costs

Description	Amount
Existing Vehicles	\$2,670,500
Additional Vehicles	196,400
Total Vehicle Costs	\$2,866,900

In addition to vehicles, the Police Department is responsible for providing adequate building space to house the officers and support staff. The police department current shares its main facility with City Hall as well as smaller sites in Mickel Park and the boathouse. Currently only the cost of the main facility at City Hall is included in the impact fee calculation. The cost of the shared facility is broken out by square footage. The total original cost less depreciation of the share facility is \$6,205,600 and following table shows the allocation of City Hall:

Table 13: City Hall Cost Allocations

Description	City Hall	Police	Total
Building Square Feet	27,000	6,000	33,000
Percent	81.8%	18.2%	100.0%
Allocated Facilities Cost	\$5,077,300	\$1,128,300	\$6,205,600

Below is a summary of the costs used to calculate the police impact fee.

Table 14: Total Capital Costs

Description	Amount
Vehicle Costs	\$2,866,900
Facility Costs	1,128,300
Total Capital Costs	\$3,995,200

Impact Fee Development

In order to develop the impact fees, it is necessary to calculate the cost per functional unit. First, the total capital costs are allocated between residential and non-residential using the functional population weighted estimates in Section 2 (Table 7).

Table 15: Allocated Police Capital Costs

Description	Total Capital Costs	% Residential	% Non-residential	Residential Capital Costs	Non-residential Capital Costs
Capital Costs	\$3,995,200	73.4%	26.6%	\$2,932,500	\$1,062,700

The allocated capital costs are divided by the functional population per 1,000 square feet as identified in Section 2 to get a fee per 1,000 square feet. Then, the residential amounts are translated back into a cost per average dwelling unit for residential purposes using the average single family home at 2,000 square feet and the average multi-family dwelling unit at 1,000 square feet.

Table 16: Residential Fee Calculation

Description	Residential	Non-residential [1]
Capital Costs	\$2,932,500	\$1,062,700
2030 Functional Population	8,044	3,635
Fee per Functional Population [1]	\$364.56	\$292.35
Single Family FP per 1,000 Square Feet	0.52	
Calculated Single Family Impact Fee per 1,000 SF	\$190.69	
Single Family Impact Fee per Square Foot	\$0.191	
Multi-Family FP per 1,000 Square Feet	0.99	
Calculated Multi-Family Impact Fee per 1,000 SF	\$359.53	
Multi-Family Impact Fee per Square Foot	\$0.360	

[1] Non-residential Fee per Functional Population is the basis for the Non-residential fee, as shown on Table 17.

As shown on the table above the maximum supportable impact fee per single family residential square foot is \$0.191 and for a multi-family residential square foot is \$0.360. Compared to the existing police impact fee of \$91.50 the calculated average single family home at 2,000 square feet of \$382.00 represents an increase of \$290.50 per dwelling unit or 317.5% and the calculated average multi-family dwelling unit at 1,000 square feet of \$360.00 represents an increase of \$268.50 or 293.4%. The recent update to Section 168.31801 F.S. added specific limitations on allowable increases in impact fees and how these limitations may be exceeded based upon demonstrated need.

In addition to the residential impact fees, a select number of non-residential land uses were identified in Section 2 with functional population factors. By applying these factors to the calculated police impact fee, the rate per square foot of development for each land use is developed and provided on the table below.

Table 17: Non-Residential Police Impact Fees

Land Use	Impact Unit	FP Factor	Impact Fee
Industrial/Warehousing	Per 1,000 SF	0.12	\$34.00
Hotel	Per Room	0.46	\$133.00
Institutional	Per 1,000 SF	0.25	\$74.00
Office Building	Per 1,000 SF	0.86	\$252.00
Retail	Per 1,000 SF	2.38	\$694.00
Restaurant/Bar	Per 1,000 SF	7.17	\$2,095.00

To meet the City’s needs in terms of providing the necessary police related capital improvements, including purchasing vehicles for new officers and expanding/upgrading the building space to accommodate additional officers as required by growth, the City should increase the fees to the maximum calculated amount as demonstrated on the tables above. As discussed in the Executive Summary, there are several factors causing an extraordinary circumstance for the City including the increased density allowances in several transit corridors throughout the City, current inflationary levels, and the recent trend in construction bids resulting in significantly higher costs of providing improvements than in recent years. Under the existing police impact fees new development would pay around \$119,000 and under the proposed/calculated impact fees growth would pay around \$449,000. If the City does not implement the maximum fees then growth will be underpaying their share of the capital improvements by approximately \$330,000 resulting in a funding shortfall to provide necessary improvements related to new growth.

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Police Impact Fee Comparisons

The following figure compares the City's existing and calculated police impact fees for residential land uses with those imposed in other nearby communities.

Figure 2: Police Impact Fee Comparison per Single Family Dwelling Unit



[1] Calculated impact fee is based on a 2,000 square foot single family home.

Section 4 – Fire Impact Fee

Introduction

The City of Fort Lauderdale provides Fire Rescue Services for the City by an ongoing operations agreement. Fort Lauderdale provides staffing and a rescue truck; the City owns and maintains the current facility and fire engine and leases the rescue truck from Fort Lauderdale. Additional staffing is by agreement between Fort Lauderdale and the City. Therefore, costs of adding additional personnel have not been included in this study.

Existing Impact Fees

The City currently charges Fire Impact Fees for new development within the City limits based on the classification of development of either residential or non-residential. The following table illustrates the fees charged:

Table 18: Existing Fire Impact Fees

Description	Impact Unit	Police Impact Fee
Residential	Dwelling Unit	\$60.00
Non-Residential	1,000 SF	\$40.00

As shown above, the existing fees are distinguished between residential and non-residential users. This report uses the same methodology for both residential and non-residential development with the additional of various non-residential land uses presented in Section 2.

Incremental Costs

The City's current vehicles in service and any potential future needs will be considered in the impact fee calculation. The City currently owns the engine and two support vehicles. The rescue truck is owned and maintained by the City of Fort Lauderdale and has not been included in the cost basis. The table below summarizes the existing fire apparatus owned by the City:

Table 19: Vehicle Allocations

Vehicles	Total Cost
Fire Engine	\$659,400
2012 Ford Fusion	15,006
2019 Ford Explorer	29,608
Total	\$704,015

As shown above, the City has \$704,015 in vehicles currently in service. The City does not anticipate any additional apparatus being purchased within the next ten years. However, to accommodate the purchase of additional vehicles in the future and upgrades to existing vehicles with additional capacity to serve the new development that will likely carry increased density and buildings with more stories, the existing vehicles are included in the cost basis of the impact fee calculation.

The City's fire department maintains a fire station built in 1965. The original cost of the station, including any improvements, is \$729,049. Since the existing fire station has been in service for over 50 years, the original cost of the station is completely depreciated. The total original cost of improvements less depreciate is \$430,140. This amount is included in the impact fee calculation. The City has identified that there is a need to upgrade this building to provide additional capacity at some point in the future. At the time of this report these plans have not been finalized. Once the City further identifies and develops these plans, the fire impact fee should be updated to include any additional costs that provide benefit to future development.

The table below summarizes all of the costs included in the impact fee calculation.

Table 20: Capital Costs

Description	Amount
Vehicles	\$704,015
Buildings	430,140
Total	\$1,134,155

Impact Fee Development

In order to develop the impact fees, it is necessary to calculate the cost per functional unit. First, the total capital costs are allocated between residential and non-residential using the functional population weighted estimates in Section 2 (Table 7).

Table 21: Allocated Fire Capital Costs

Description	Total Capital Costs	% Residential	% Non-residential	Residential Capital Costs	Non-residential Capital Costs
Capital Costs	\$1,134,155	73.40%	26.60%	\$832,500	\$301,655

The allocated capital costs are divided by the functional population to get a fee per functional population. Then, these amounts are translated back into a cost per dwelling unit for both single family and multi-family residential purposes using the functional population factors of 1.10 and 0.93 respectively per dwelling unit as identified in Section 2 and is then translated into a fee per square foot.

Table 22: Residential Fee Calculation

Description	Residential	Non-residential [1]
Capital Costs	\$832,500	\$832,500
2030 Functional Population	8,044	3,635
Fee per Functional Population [1]	\$103.49	\$82.99
Single Family FP per 1,000 Square Feet	0.52	
Calculated Single Family Impact Fee per 1,000 SF	\$54.13	
Single Family Impact Fee per Square Foot	\$0.050	
Multi-Family FP per 1,000 Square Feet	0.99	
Calculated Multi-Family Impact Fee per 1,000 SF	\$102.07	
Multi-Family Impact Fee per Square Foot	\$0.102	

[1] Non-residential Fee per Functional Population is the basis for the Non-residential fee as shown on Table 23.

We recommend the City implement slightly rounded impact fees of \$0.05 for single family residential square foot and \$0.10 for multi-family residential square foot based on the analysis discussed above. The existing fire impact fee per residential dwelling unit is \$60.00. The calculated average 2,000 square foot single family residential fee of \$100.00 represents a \$40.00 increase or 66.7% and the calculated average 1,000 square foot multi-family unit fee of \$102.00 represents a \$42.00 increase from the existing fee level or 70.0%.

In addition to the residential impact fee, a select number of non-residential land uses were identified in Section 2 with functional population factors. By applying these factors to the calculated fire impact fee, the rate per square foot of development for each land use is developed and provided on the table below.

Table 23: Non-Residential Fire Impact Fees

Land Use	Impact Unit	FP Factor	Impact Fee
Industrial/Warehousing	Per 1,000 SF	0.12	\$9.00
Hotel	Per Room	0.46	\$37.00
Institutional	Per 1,000 SF	0.25	\$21.00
Office Building	Per 1,000 SF	0.86	\$71.00
Retail	Per 1,000 SF	2.38	\$197.00
Restaurant/Bar	Per 1,000 SF	7.17	\$594.00

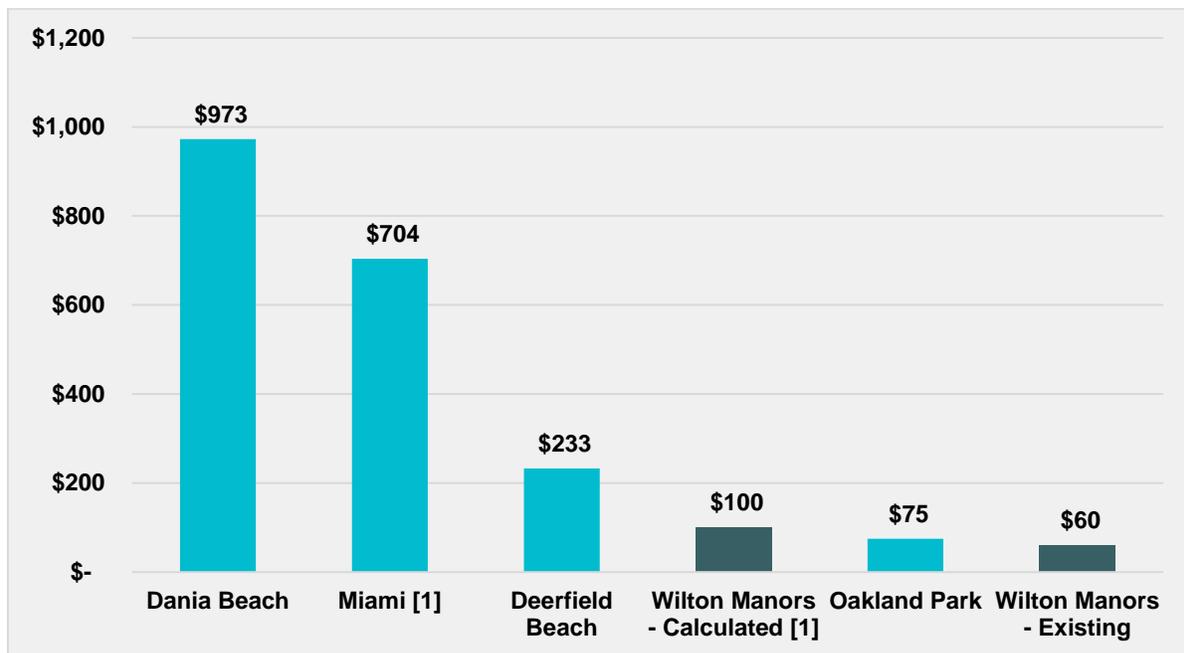
Any non-residential impact fees being increased more than 25% will also have to be phased in over a four-year period. The table below shows the four-year phase-in schedule for non-residential fees by land use.

Through review of the City’s capital improvement plan and discussions with staff, it does not appear that there is a currently existing extraordinary need to increase the Fire impact fees even though the maximum fee is calculated to be greater than 50% of the existing fee. Additionally, while new land uses are recommended it is not feasible to add these land uses and meet the statute limitations of 50% increases. Therefore, it is recommended that the City maintain the existing impact fee structure for Fire and phase-in the maximum 50% increase to the fees over the next four-years as demonstrated on Table ES-4 in the Executive Summary.

Fire Impact Fee Comparisons

The following figure compares the City’s existing and calculated fire impact fees for residential land uses with those imposed in other nearby communities.

Figure 3: Fire Impact Fee Comparison per Single Family Dwelling Unit



[1] Calculated impact fee is based on a 2,000 square foot single family home.

Section 5 – Parks and Recreation Impact Fee

Introduction

The City owns and maintains parks and recreation facilities for the use and benefit of its residents and visitors. As the City grows, additional facilities along with improvements to existing recreation amenities are necessary. This section provides an analysis for the City’s updated parks and recreation impact fee based on the costs to meet demands from growth. This section relies on growth in residential population/development only.

Existing Impact Fees

The City currently charges a parks and recreation impact fee to be used for the expansion of parks and recreation related services that may be necessitated by growth. These fees are charged based on residential land use and was last updated pursuant to Ordinance No. 888, Art. II. The following table provides the existing parks and recreation impact fees charged to new residential development:

Table 24: Existing Parks and Recreation Impact Fees

Description	Fee
Single-Family Detached	\$1,224.28
Multi-Family Dwelling Unit	\$976.51
Mobile Home	\$1,258.28

Existing Recreational Facilities

City staff provided a parks inventory that indicates that the City currently has 18 existing parks and recreation facilities encompassing approximately 67.06 acres as summarized on Table 25, that would be eligible for funding from impact fees due to demands on facilities from growth resulting in consumption of the open space and facilities and resulting in the need for expansion. The amenities provided throughout this network include playgrounds, boat ramps, tennis courts, baseball fields, basketball courts, and other facilities. Each of the parks and facilities will also be available for use by future residents.

Table 25: Existing Parks

Description	Acres
Andrews Avenue Extension	0.15
Apache Pass Park	0.18
Colohatchee Park	8.50
Colohatchee Boat Ramp	1.20
Coral Gardens Park	0.37
Donn Eisele Park	0.90
Hagen Park/Veterans Memorial	5.79
Island City Park Preserve	3.15
Island City Park Expansion	0.27
Jaycee Park	0.46
M.E. DePalma Park	0.14
Mickel Park	5.00
Rachel Richardson Park	0.33
Richardson Historic Park	5.40

Description	Acres
Snook Creek Boat Ramp	0.45
Wilton Manors Elementary	4.80
Waterways	29.72
Women's Club	0.25
Total	67.06

Level of service for parks and recreational services is typically measured in terms of recreational acreage available per 1,000 population. The City's Comprehensive Plan from 2019 provides the targeted level of service (LOS) at 4.250 acres per 1,000 population. A conversion of the existing acreage to the existing population indicates whether the City has a sufficient amount of recreational acreage to serve its current residents. With a current population of 11,426, the level of service provided to existing residents is 5.87 acres of park and recreational lands, including waterways, per 1,000 residents, based on the 67.06 acres. This LOS is sufficient to meet the target identified in the Comprehensive Plan and results in the City having capacity in existing facilities to accommodate growth. To determine if the City needs any additional parks during the Forecast Period, the LOS in 2030 is calculated. Using the same 67.06 existing acres and the projected population of 13,766 the LOS would be 4.87, which should continue to fulfill the established level of service.

In addition to open-space acreage for recreational activities, the City has provided improvements such as tennis courts, basketball courts, walking paths, playground, and other similar amenities for the use and enjoyment of existing residents and future residents. The City's investment in these facilities is largely anticipated to serve increased population over the next 10-years and is included as a capital recoupment cost for impact fee determination.

Using original costs less depreciation, the City has invested \$13.9 million into the existing parks and recreation facilities in order to serve then existing residents as well as providing excess capacity to serve new growth.

Growth-Related Capital Improvements

The City has provided a Capital Improvement Plan (CIP) that identifies a range of projects including expansion, upgrade, and replacement of park land and facilities. This CIP has been reviewed with staff and updated based on the most current information available. All projects associated with replacement or refurbishment of existing facilities have been excluded from the impact fee calculations to maintain a conservative approach. There are four primary projects on the CIP that have been identified as growth related and therefore eligible for impact fee funding. Those projects, along with the cost and a description are included below.

Colohatchee Park Expansion and Boat Ramp

Cost: \$1,800,000

Description: The City recently acquired additional parcels to expand the Colohatchee park acreage and intends to provide new and upgraded amenities including a restroom, expanded elevated nature walk, and parking spaces that will benefit both existing residents and new development. The estimated cost for these improvements is \$900,000. Additionally, the City is planning to acquire more land that will be used to provide an additional boat ramp at this park since the City is anticipating increased needs from additional development. The estimated cost of acquiring this additional land is \$900,000. After the City purchases this additional land for the boat ramp expansion, there will be additional improvements required to add the boat ramp, parking, and other required improvements that are not designed yet. At the time these facilities are identified the City may want to consider updating the parks impact fee to reflect the cost of providing these improvements.

Hagen Park Building Expansion

Cost: \$181,000

Description: The City has identified a building expansion at Hagen park that will serve as an expansion to accommodate increased demands on the park facility resulting from new development and more residents in the City. The original cost estimate is from 2019 and was for \$165,000. This amount has been increased to a more current cost level using the Construction Cost Index as published by the Engineering News Records cumulative amount of 9.68% (1.98% in 2019, 1.63% in 2020, and 5.83% in 2021) resulting in the estimated cost of \$181,000.

Mickel Park Expansion

Cost: \$1,000,000

Description: At Mickel park, the City plans to acquire two parcels near the park entrance that would be converted to additional parking, associated landscaping, and other improvements that will allow the City to provide additional capacity and access to the Mickel park facilities. The City is projecting increased parking capacity issues at this park during the various events held throughout the year. The estimated cost of each parcel is approximately \$600,000, based on estimates provided by Zillow.com obtained around the date of this study. These estimates appear conservative as several adjacent and similarly situated homes are listed for sale for 50% to 100% more. Additionally, the City has identified approximately \$800,000 of improvements to these parcels once acquired in order to upgrade them to the intended use. The total estimated cost of these improvements is \$2,000,000 and the City is anticipating that it will be able to obtain 50% of the cost from other funding sources (general fund, grants, etc.).

Calculated Parks and Recreation Impact Fees

As mentioned previously, approximately \$13.9 million has been invested into the existing park facilities and an additional \$2.98 million is planned to be invested over the next several years. Since both existing and future investments in the Leisure Services department benefit both existing and future residents, the total amount invested is divided by the 2030 projected population of 13,114. The table below provides the parks and recreation impact fee calculation:

Table 26: Parks and Recreation Impact Fee Calculation

Description	Amount
Existing Improvements and Facilities	\$13,920,900
CIP Projects	2,981,000
Total Cost Basis to Recover	\$16,901,900
2030 Population	13,766
Fee per Population	\$1,227.80
Single Family Persons per 1,000 Square Feet	0.87
Calculated Single Family Impact Fee per 1,000 SF	\$1,073.24
Single Family Impact Fee per Square Foot	\$1.073
Multi-Family Persons per 1,000 Square Feet	1.64
Calculated Multi-Family Impact Fee per 1,000 SF	\$2,010.53
Multi-Family Impact Fee per Square Foot	\$2.011

We recommend the City implement slightly rounded impact fees of \$1.073 per square foot for single family and \$2.011 per square foot for multi-family based on the analysis discussed above. The existing parks and recreation impact fee per residential dwelling unit is \$1,224.28. The calculated average 2,000 square foot single family impact fee of \$2,146.00 represents a \$921.72 increase from the existing fee level or 75.3% and the calculated average 1,000 square foot multi-family unit impact fee of \$2,010.53 represents an increase of \$786.25 or 64.2%.

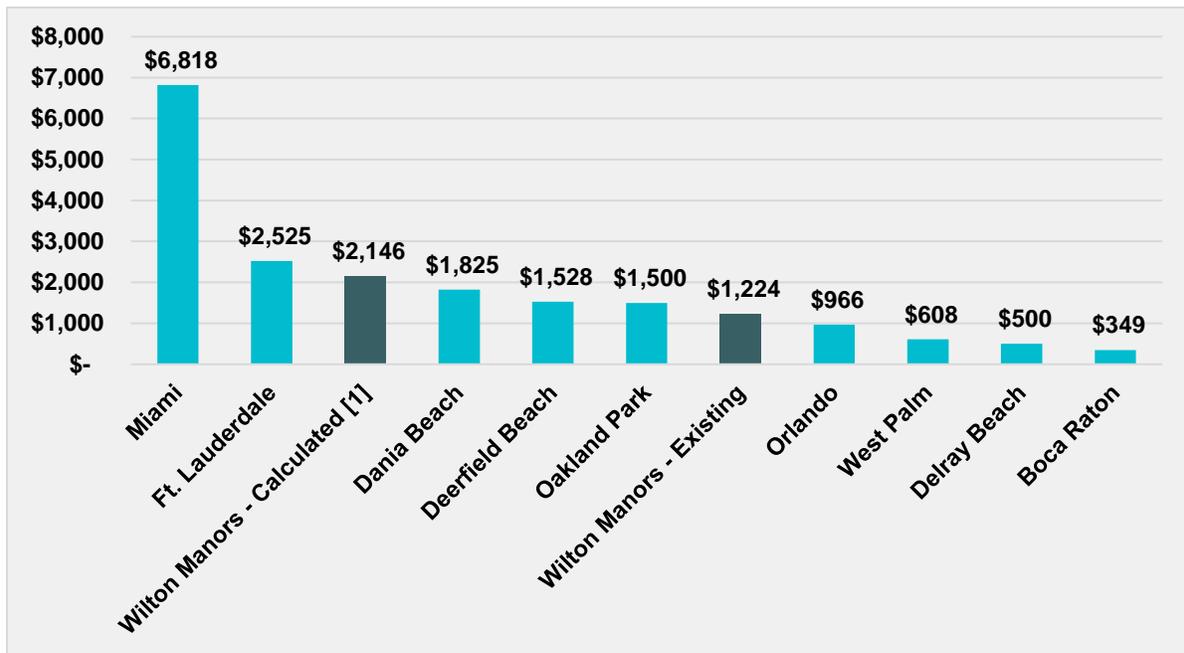
To meet the City’s needs in terms of providing the necessary parks and recreation related capital improvements, including purchasing additional land/park space and providing expansions and upgrades to existing parks as required to appropriately serve growth, the City should increase the fees to the maximum calculated amount as demonstrated on the table above. As discussed in the Executive Summary, there are several factors causing an extraordinary

circumstance for the City including the increased density allowances in several transit corridors throughout the City, current inflationary levels, and the recent trend in construction bids resulting in significantly higher costs of providing improvements than in recent years. Under the existing parks and recreation impact fees new development would pay around \$1,243,000 and under the proposed/calculated impact fees growth would pay around \$2,414,000. If the City does not implement the maximum fees then growth will be underpaying their share of the capital improvements by approximately \$1,171,000 resulting in a funding shortfall to provide necessary improvements related to new growth.

Parks and Recreation Impact Fee Comparisons

The figure below provides the comparison to other local municipalities.

Figure 4: Parks and Recreational Impact Fee Comparison per Dwelling Unit



[1] Calculated impact fee is based on a 2,000 square foot single family home.

Section 6 – Library Impact Fee

Introduction

This section provides the development and design of library impact fees. These impact fees support the funding and expansion of the library facilities necessitated by growth. This is a new impact fee charged to residential development by land-use.

Library Facilities

The City currently owns and maintains a single library building, near the downtown area and is named the Richard C. Sullivan Public Library. The City provided the fixed asset schedule as of September 30, 2019, though this did not list the original purchase cost of the library building. The current value of the library building, according to the Broward County Property Appraiser is \$865,246. In recent years, the City has invested an additional \$8,950 for improvements resulting in a total investment of \$874,196.

Calculated Library Impact Fees

As mentioned previously, approximately \$900,000 has been or is planned to be invested over the next several years. The current fee calculation is primarily based on recoupment of prior investments made. However, should expansions or additional library improvements be identified it would be prudent for the City to use impact fees collected towards those expenditures and to update the impact fee to reflect the additional costs. Since both existing and future investments in the library department benefit both existing and future residents, the total amount invested is divided by the 2030 projected population of 13,776. The table below provides the parks and recreation impact fee calculation:

Table 27: Library Impact Fee Calculation

Description	Amount
Total Costs to Recover	\$874,196
2030 Population	13,766
Fee per Population	\$63.50
Single Family Persons per 1,000 Square Feet	0.87
Calculated Single Family Impact Fee per 1,000 SF	\$55.51
Single Family Impact Fee per Square Foot	\$0.056
Multi-Family Persons per 1,000 Square Feet	1.64
Calculated Multi-Family Impact Fee per 1,000 SF	\$103.99
Multi-Family Impact Fee per Square Foot	\$0.104

The calculated (rounded) impact fee is \$0.056 per single family square foot and \$0.104 per multi-family square foot based on the analysis shown above.

The establishment of new impact fees is not governed by the restrictions identified in F.S. 163.31801 (6). The City does not currently charge Library impact fees, so this is a new impact fee for the City and may be adopted and imposed at the calculated impact fee rates.

Section 7 – General Government Impact Fee

Introduction

This section provides the development and design of general government impact fees. These impact fees support the funding and expansion of government buildings and other facilities necessitated by growth. This is a new impact fee charged to residential and non-residential development by land-use.

The City is in need of additional office space to house staff from various departments as growth and redevelopment continue to place additional demands on services and for related capital facilities.

General Government Facilities

The City provided the fixed asset schedule as of September 30, 2019. Through discussions with staff it was determined the primary public facility to include in the fee calculation is City Hall. A majority of the other facilities in the City are covered under the other impact fee categories. The current book value, original cost less depreciation, of the City Hall building is \$6.2 million. As discussed in Section 3, City Hall is shared with the City's police department. Table 13 shows the allocation of the total building cost between City Hall and the police department. The City Hall allocated amount is \$5,077,300. In recent years, the City has invested an additional \$377,540 for improvements resulting in a total investment of \$5,454,840.

Calculated General Government Impact Fees

Similarly to police and fire, the capital costs are allocated between residential and non-residential by using the functional population weighted factors from Section 2 Table 7. The table below shows the allocation between residential and non-residential.

Table 28: Allocated General Government Capital Costs

Description	Total Capital Costs	% Residential	% Non-residential	Residential Capital Costs	Non-residential Capital Costs
Capital Costs	\$5,454,840	73.40%	26.60%	\$4,003,900	\$1,450,940

The allocated capital costs are divided by the functional population to get a fee per functional population. Then, these amounts are translated back into a cost per square foot for residential purposes using the functional population factors identified in Section 2.

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Table 29: Residential Fee Calculation

Description	Residential	Non-residential [1]
Capital Costs	\$4,003,900	\$1,450,940
2030 Functional Population	8,044	3,635
Fee per Functional Population [1]	\$497.75	\$399.16
Single Family FP per 1,000 Square Feet	0.52	
Calculated Single Family Impact Fee per 1,000 SF	\$260.35	
Single Family Impact Fee per Square Foot	\$0.260	
Multi-Family FP per 1,000 Square Feet	0.99	
Calculated Multi-Family Impact Fee per 1,000 SF	\$490.89	
Multi-Family Impact Fee per Square Foot	\$0.491	

[1] Non-residential Fee per Functional Population is the basis for the Non-residential fee

The calculated (rounded) impact fee is \$0.271 per single family square foot and \$0.512 per multi-family square foot based on the analysis shown above.

In addition to the residential impact fees, a select number of non-residential land uses were identified in Section 2 with functional population factors. By applying these functional population factors to the general government fee per functional population amount, the rate per unit of development for each land use is calculated and provided on the table below.

Table 30: Non-Residential Police Impact Fees

Land Use	Impact Unit	FP Factor	Impact Fee
Industrial/Warehousing	Per 1,000 SF	0.12	\$47.00
Hotel	Per Room	0.46	\$181.00
Institutional	Per 1,000 SF	0.25	\$101.00
Office Building	Per 1,000 SF	0.86	\$344.00
Retail	Per 1,000 SF	2.38	\$948.00
Restaurant/Bar	Per 1,000 SF	7.17	\$2,861.00

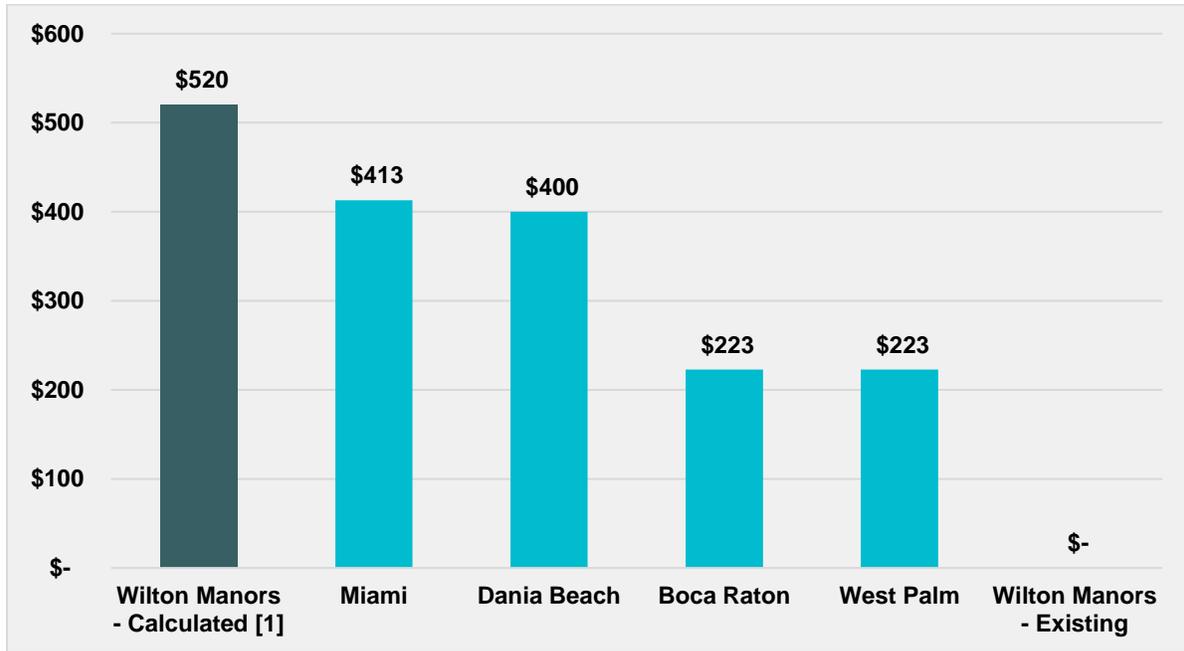
The establishment of new impact fees is not governed by the restrictions identified in F.S. 163.31801 (6). The City does not currently charge General Government impact fees, so this is a new impact fee for the City and may be adopted and imposed at the calculated impact fee rates.

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General Government Impact Fee Comparisons

The figure below provides the comparison to other local municipalities.

Figure 5: General Government Impact Fee Comparison per Single Family Dwelling Unit



[1] Calculated impact fee is based on a 2,000 square foot single family home.